



NOTICE OF PUBLIC MEETING
Proposed Official Plan Amendment and Class III Development Permit

TAKE NOTICE THAT the Town is in receipt of a complete application for a proposed Official Plan Amendment, pursuant to Section 21 and a Development Permit pursuant to Section 70.2 of the Planning Act, R.S.O. 1990.

Planning Advisory Committee for the Town of Gananoque will hold a Meeting on **TUESDAY, OCTOBER 28, 2025 at 6:00 P.M.** in the **TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 King Street East, Gananoque** to provide recommendations to Council on the concurrent applications below.

AND FURTHER TAKE NOTICE that the Council for the Corporation of the Town of Gananoque will hold a Public Meeting on **TUESDAY, NOVEMBER 4, 2025 at 5:00 P.M.** at the **TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 King Street East, Gananoque** to consider the following applications:

*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** will be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hall/meetings> prior to the meeting.

File No. OPA8-25/DP2025-13	OWNER: AGNES & HARRIE TIEKEN APPLICANT: BETHANIE MATTHEWS
<p>The property municipally and legally described as</p> <p>145 RIVER STREET</p> <p>PLAN 86 PT LOT 476 PT LOT;477 PT LOT 478 PT LOT 479 RP;28R8089 PART 1 TOWN OF GANANOQUE</p> <p>has applied to the Town of Gananoque for an Official Plan Amendment (File No. OPA8-25) from</p> <p>RESIDENTIAL TO A SITE SPECIFIC GENERAL COMMERCIAL DESIGNATION TO PERMIT A COMMERCIAL SPORTS AND RECREATION FACILITY</p> <p>AND</p> <p>has applied to the Town of Gananoque for a Development Permit (File No. DP2025-13) to</p> <p>REDESIGNATE THE PROPERTY FROM THE RESIDENTIAL TO SITE SPECIFIC PROGRESSIVE COMMERCIAL USE (PC-XX) TO PERMIT A COMMERCIAL SPORTS AND RECREATION FACILITY</p> <p>Note: Applications OPA8-25 and DP2025-13 are concurrent. DP2025-13 will be a condition for final approval of Official Plan Amendment application OPA8-25</p>	

Additional information in relation to the proposed **Official Plan Amendment** and **Development Permit** is available in-person for inspection between 8:30am - 4:30pm at the Town of Gananoque, 30 King Street East, Gananoque Ontario or on the Town website at <https://www.gananoque.ca/town-hall/meetings>, or by emailing assistantplanner@gananoque.ca or by calling Trudy Gravel 613-382-2149 ext. 1129.

Official Plan

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Town before the proposed Official Plan is adopted, the person or public body is not entitled to appeal the decision of the Town to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Town before the proposed Official Plan is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal, unless in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party. If you wish to be notified of the decision of the Corporation of the Town of Gananoque in respect to this proposed **Official Plan Amendment** and related amendments, you must make a written request to the Clerk for the Town of Gananoque, 30 King Street East, Gananoque, Ontario K7G 1E9, or by email to clerk@gananoque.ca.

Development Permit By-law

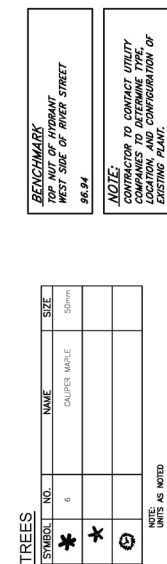
If you wish to provide comment or input in respect of the proposed **Development Permit** you may do so at the public meeting or in writing prior to the meeting. **Note:** Only the applicant of a **Development Permit** has a right to appeal a decision or non-decision on an application to the Ontario Land Tribunal where the application meets the requirements established through the official plan and development permit by-law.

DATED this 1st day of OCTOBER 2025


Brenda Guy
Manager of Planning and Development
bguy@gananoque.ca
613-382-2149 Ext.1126

MINIMUM LOT FRONTAGE	15 m
MINIMUM LOT AREA	464 m ²
MINIMUM FRONT YARD SETBACK	6.00 m
MINIMUM EXTERIOR SIDE YARD	4.50 m
MINIMUM INTERIOR SIDE YARD	1.20 m
MINIMUM REAR YARD	7.50 m
MAXIMUM BUILDING HEIGHT	11.0 m
PARKING	

BUILDING AREA	632.82	m ²
LOT AREA	2639.73	m ²
GRAVEL AREA	1838.62	m ²
LANDSCAPED AREA	168.29	m ²



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2. THE LOCATION OF EXISTING UNDERGROUND INFRASTRUCTURE WITHIN THE SITE IS UNKNOWN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UNDERGROUND INFRASTRUCTURE WITHIN THE LIMITS OF THIS CONTRACT.
4. WHEN UNDERGROUND INFRASTRUCTURE IS ENCOUNTERED THAT

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OF ALL EXISTING AND ENCLOSED SITE STRUCTURES AND
ALL UNPAVED, IMPAVED, DRIVEWAYS, UTILITY MAN HOLE OR
EQUAL. THE CATCHES SHALL BE INSTALLED AT THE SAME
LEVEL AS THE LID. CATCHES AS SHOWN ON THE DRAWING SHALL
BE INSTALLED AT LOCATIONS AS SHOWN ON THE DRAWING. ALL
NEW ALL SEDIMENT AND EROSION CONTROL MEASURE SHALL BE
CONTRACTOR. ALL SEDIMENT AND EROSION MEASURES SHALL BE
MAINTAINED, REPAIRED OR REPLACED AS REQUIRED UNTIL THE
CONTRACTOR SHALL IMMEDIATELY CONTAIN AND REMOVE ANY
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IN ADDITION, THE MINISTRY OF THE ENVIRONMENT MUST BE
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AND THE EROSION AND SEDIMENT CONTROL MEASURES MUST
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WATER AND SEWERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF EROSION
CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION AND
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AND MAY BE AMENDED IF WARRANTED BY CONDITIONS.

[illegible][illegible]

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**ASTERN
ENGINEERING GROUP INC.**
CONSULTING ENGINEERS

Apex Building
207 - 100 Strowper Blvd.
Brockville, Ont. K6V 5J9

Telephone: (613) 345-0600
Facsimile: (613) 345-0068
www.EastEng.com

GAN FITNESS

SITE PLAN

Design:	BC	Checked:	AP	Approved:	CAJ	Project No.:	9027
Drawn:	BC	Checked:	AP	Date:	2025-1-7	Contract No.:	
Scale:						Drawing No.:	

5

File No.: 9027 Cr2.dwg

**APPLICATION FOR OFFICIAL PLAN AMENDMENT**To amend the Official Plan under Sections 17 of the *Planning Act*

This application form **MUST** be accompanied with **all** the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

- ☐ Complete application form signed including declaration of applicant
- ☐ Copy of the deed of property or offer to purchase and sale
- ☐ Application fee in the amount of \$1,600 (Fifteen Hundred Dollars) payable to the Town of Gananoque
- ☐ Deposit fee in the amount of \$2,000 (Two Thousand Dollars) payable to the Town for any peer reviews of various studies (By-law 2016-047). The owner/applicant is responsible for all peer review fees that the Town incurs in this regard and may be subject to additional invoicing.
- ☐ One scaled copy, one reduced 11 x 17 copy and one digital of the most recent survey of the subject property
- ☐ One scaled copy, one reduced 11 x 17 copy and one digital showing the boundaries and dimensions of the subject land as well as the area of the lands that are subject to the amendment. Plans are to be in a standard scale format (1:250 1:500)
- ☐ Official Plan Amendments may be subject to review and a separate cheque payable to the Cataraqui Region Conservation Authority. The Town of Gananoque recommends that you consult with a Conservation Authority Officer prior to making application

CONTACT INFORMATION

Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.

Name of Applicant: Bethanie Matthews	Complete Address including Postal Code: 343 Georgiana St, Gananoque, Ontario, K7G1N1	Phone: 613 929 9927
	E-mail: ganfitness@outlook.com	
Name of Property Owner (if different than applicant): Agnes and Harrie Tieken	Complete Address including Postal Code: 215 Marble Rock Rd. Gananoque ON. K7G 2V9	Phone: 613-328-6653
	E-mail: ticken_ned@kingston.net	
Land Surveyor:	Complete Address including Postal Code:	Phone:
	E-mail:	

PROPERTY INFORMATION

Street or Property Address (if applicable): 145 River Street, Gananoque, On,	Roll Number (if known): 081400001036800
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LEGAL DESCRIPTION

Part of Lot 13, Concession 1, Town of Gananoque in the United Counties of Leeds and Grenville

Frontage (m/ft): 55.9m	Depth (m/ft):	Lot Area: 2640 m2
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Current Official Plan Designation:

Residential

Proposed Official Plan Designation:	General Commercial - Special Policy Area X
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Official Plan Policy (Existing):	The proposed amendment: <input checked="" type="checkbox"/> Changes, a policy in the Official Plan <input type="checkbox"/> Replaces, a policy in the Official Plan <input type="checkbox"/> Deletes, a policy in the Official Plan
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Description of affected property:

The property is located on the east side of River Street and abuts the Gananoque Waterfront Trail along the northern property line. The site has an area of approximately 2,640 square metres, with approximately 55.9 metres of frontage along River Street, and approximately 14.9 metres of frontage along the Gananoque River. The site is currently developed with a one-storey commercial building located in the northwest corner abutting River Street and the Gananoque Waterfront Trail. The commercial building is previously occupied by a retail use (flea market). The balance of the site is gravelled and the east portion of the site slopes towards the Gananoque River. Vehicular and pedestrian access to the site is provided from River Street.

Official Plan Policy (Addition):

The proposed amendment adds the following policy to the official plan if applicable (add additional sheet if further space is needed):

i) THAT Schedule A of the Official Plan for the Town of Gananoque is hereby amended by redesignating the lands identified on Schedule A, attached hereto and forming part of this Amendment, from Residential to General Commercial.

ii) THAT Section 3.3.2.1.X of the Official Plan is amended to add the following section:

3.3.2.1.X General Commercial Special Policy Area X 145 River Street On the lands designated General Commercial Special Policy Area X, the only permitted use shall be a commercial sports and recreation facility, which is defined as: athletic, recreational, or social club operated for gain or profit or for the private use of members. U

Purpose:

If the proposed amendment changes, replaces, deletes or adds a policy, state the purpose of the proposed official plan amendment:

The purpose of this amendment is to redesignate the subject lands to the General Commercial designation and establish Special Policy Area X to permit a commercial sports and recreation establishment on the subject property and prohibit all other uses permitted in the General Commercial designation.

Effect of Proposed Amendment on Designation:	<input checked="" type="checkbox"/> Changes, a designation of the Land Use Schedule of the Office Plan <input type="checkbox"/> Replaces, a designation of the Land Use Schedule of the Office Plan
--	--

Name the designation proposed: General Commercial - Special Policy Area X -- 145 River Street On the lands designated General Commercial Special Policy Area X, the only permitted use shall be a commercial sports and recreation facility, which is defined as an athletic, recreational, or social club operated for gain or profit or for the private use of members. U

Is the subject property currently the subject of any other application under the Planning Act such as a Development Permit, Consent or Approval of a Plan of Subdivision/Condominium?

☒ Yes☐ No

If Yes, please provide the file number of each application, and its status (add additional sheet if further space is needed):

1. Type of Application	development permit
Application File #	unknown
Status of Application	concurrent with OPA
2. Type of Application	
Application File #	
Status of Application	

Text – Proposed Amendment

State the text of the proposed amendment if a policy in the official plan is being changed, replaced or deleted, or if a policy is being added to the official plan (add additional sheet if further space is needed):

attached.

Where the proposed amendment changes or replaces a schedule in the official plan, attach the proposed schedule and the text that accompanies the schedule.

AUTHORIZATION BY OWNER

I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize

Bethanie Matthews

(print name) to be the applicant in the submission of this application.

Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.

Aquas Tiekien

Owner Name (Please Print)

[Signature]

Signature of Owner

Signature of Witness (not applicant)

Owner Name (Please Print)

Signature of Owner

Aug 13, 2025

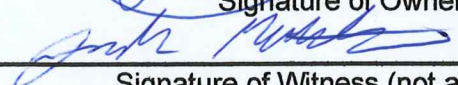
Date

CONSENT BY OWNER

I/We, Agnes Tieren, (print name(s) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.


 Signature of Owner

Signature of Owner


 Signature of Witness (not applicant)

Aug 13, 2025
 Date
DECLARATION OF APPLICANT

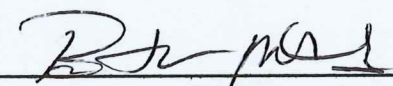
(Print) I, Bethanie Matthews of the Town of Gananoque in the Province of Ontario solemnly declare that:

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at

Town of Gananoquethis 3rd day ofSeptember, 20 25

 Signature of a Commissioner, etc


 Signature of Applicant
Office Use Only:Roll No:
081400001036800Official Plan Designation:
ResidentialDevelopment Permit Designation:
Residential

Other:

Access (Entrance Permits etc):

Water and Sewer Hookup
(Permits etc):

Other:

Other
Concurrent
Applications:Cash-in-Lieu
of ParkingCondominium
ApprovalConsent/
SeveranceDevelopment
Permit ApprovalOfficial Plan
AmendmentSubdivision
Approval

Date Application Received:

September 3, 2025

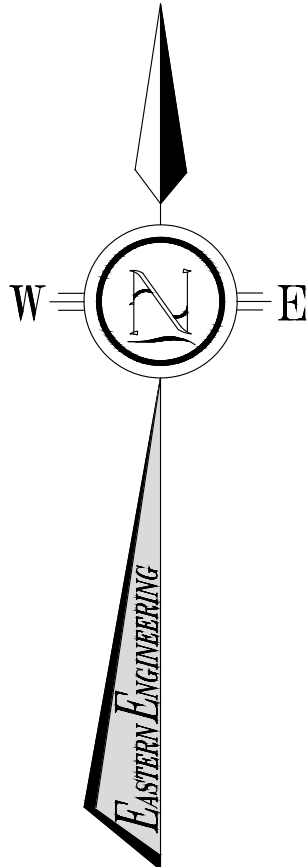
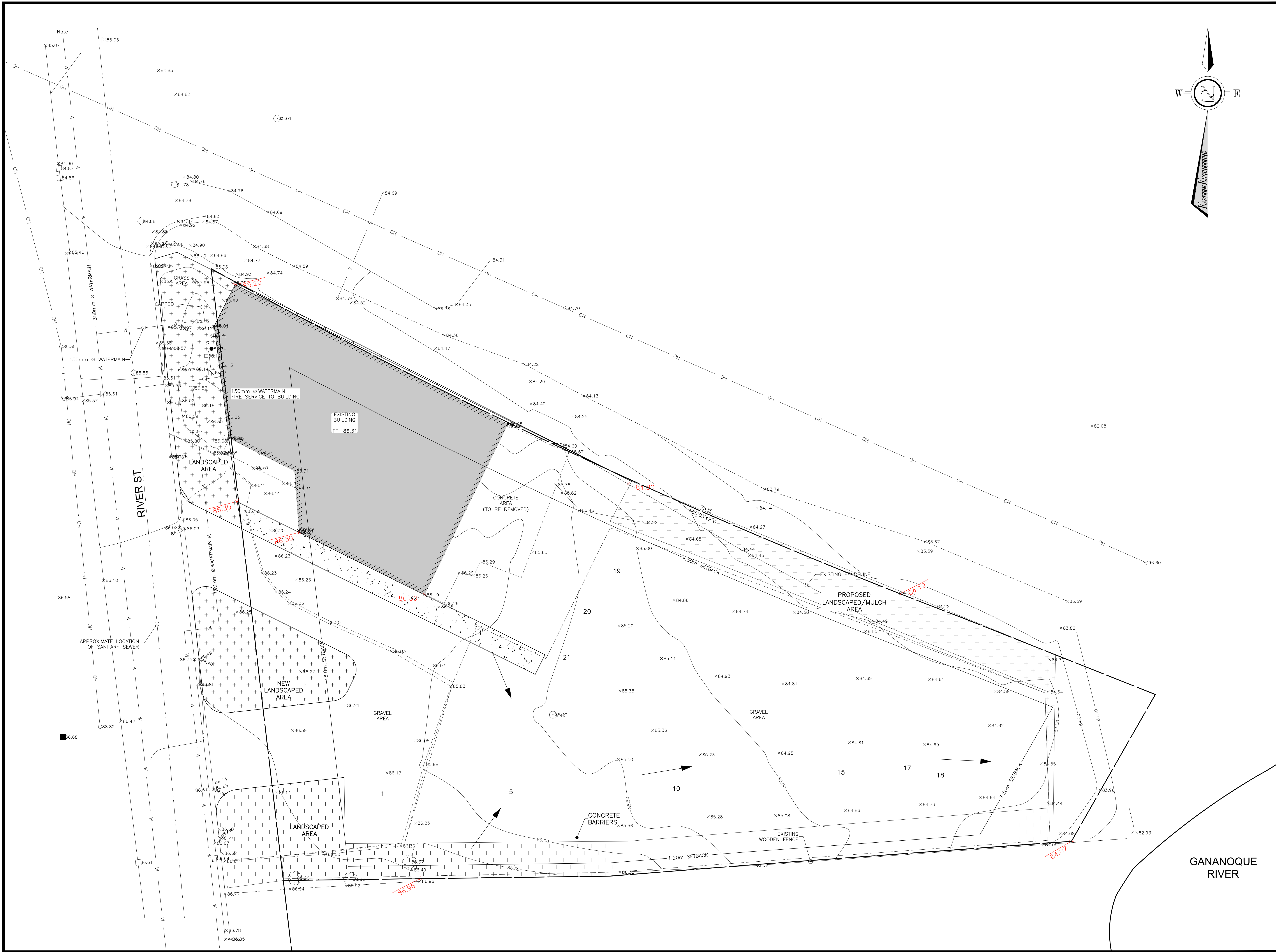
Date Application Deemed

Complete: September 3, 2023

Fees Received:

\$1600 September 3, 2025

For additional details please contact: Brenda Guy, Manager of Planning and Development
 Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9
 (613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca



BENCHMARK

NOTE:
CONTRACTOR TO CONTACT UTILITY COMPANIES TO DETERMINE TYPE, LOCATION, AND CONFIGURATION OF EXISTING PLANT.

No.	By	Date	Revisions
2	BAC	2025-07-04	TOWN COMMENTS
1	CJ	2025-04-22	TOWN COMMENTS
0	BC	2025-01-29	SITE PLAN

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Drawings are not to be scaled.



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Project Title:
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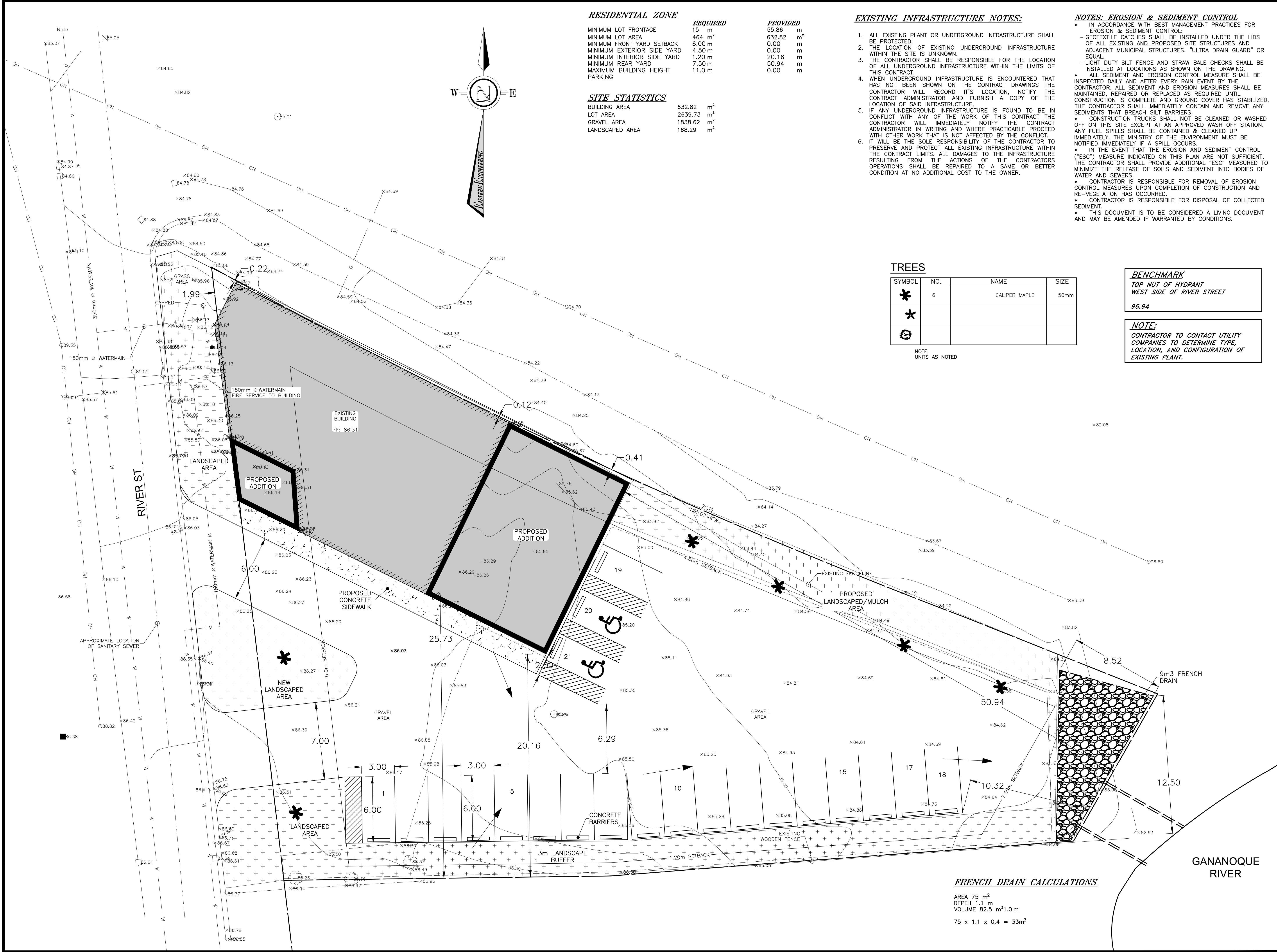
Drawing Title:
EXISTING CONDITIONS

Design:	BC	Checked:	AP	Approved:	CAJ	Project No.:	9027
Drawn:	BC	Checked:	AP	Date:	2025-1-7	Contract No.:	.

Scale:
0 4 8
Horizontal: 200
0 1 2
Vertical: 50
UNITS EQUAL METRES UNLESS OTHERWISE NOTED

C0

File No.: 9027 Cr2.dwg



RESIDENTIAL ZONE

	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	15 m	55.86 m
MINIMUM LOT AREA	464 m ²	632.82 m ²
MINIMUM FRONT YARD SETBACK	6.00 m	0.00 m
MINIMUM EXTERIOR SIDE YARD	4.50 m	0.00 m
MINIMUM INTERIOR SIDE YARD	1.20 m	20.16 m
MINIMUM REAR YARD	7.50 m	50.94 m
MINIMUM BUILDING HEIGHT	11.0 m	0.00 m
PARKING		

SITE STATISTICS

BUILDING AREA	632.82 m ²
LOT AREA	2639.73 m ²
GRAVEL AREA	1838.62 m ²
LANDSCAPED AREA	168.29 m ²

EXISTING INFRASTRUCTURE NOTES:

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- WHEN UNDERGROUND INFRASTRUCTURE IS ENCOUNTERED THAT HAS NOT BEEN SHOWN ON THE CONTRACT DRAWINGS THE CONTRACTOR WILL RECORD IT'S LOCATION, NOTIFY THE CONTRACT ADMINISTRATOR AND FURNISH A COPY OF THE LOCATION OF SAID INFRASTRUCTURE.
- IF ANY UNDERGROUND INFRASTRUCTURE IS FOUND TO BE IN CONFLICT WITH ANY OF THE WORK OF THIS CONTRACT THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CONTRACT ADMINISTRATOR IN WRITING AND WHERE PRACTICABLE PROCEED WITH OTHER WORK THAT IS NOT AFFECTED BY THE CONFLICT.
- IT WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT ALL EXISTING INFRASTRUCTURE WITHIN THE CONTRACT LIMITS. ALL DAMAGES TO THE INFRASTRUCTURE RESULTING FROM THE ACTIONS OF THE CONTRACTORS OPERATIONS SHALL BE REPAIRED TO A SAME OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.

NOTES: EROSION & SEDIMENT CONTROL

- IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOR EROSION & SEDIMENT CONTROL:
 - GEOTEXTILE CATCHES SHALL BE INSTALLED UNDER THE LIDS OF ALL EXISTING AND PROPOSED SITE STRUCTURES AND ADJACENT MUNICIPAL STRUCTURES. "ULTRA DRAIN GUARD" OR EQUAL.
 - LIGHT DUTY SILT FENCE AND STRAW BALE CHECKS SHALL BE INSTALLED AT LOCATIONS AS SHOWN ON THE DRAWING.
 - ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY AND AFTER EVERY RAIN EVENT BY THE CONTRACTOR. ALL SEDIMENT AND EROSION MEASURES SHALL BE MAINTAINED, REPAIRED OR REPLACED AS REQUIRED UNTIL CONSTRUCTION IS COMPLETE AND GROUND COVER HAS STABILIZED. THE CONTRACTOR SHALL IMMEDIATELY CONTAIN AND REMOVE ANY SEDIMENTS THAT BREACH SILT BARRIERS.
 - CONSTRUCTION TRUCKS SHALL NOT BE CLEANED OR WASHED OFF ON THIS SITE EXCEPT AT AN APPROVED WASH OFF STATION. ANY FUEL SPILLS SHALL BE CONTAINED & CLEANED UP IMMEDIATELY. THE MINISTRY OF THE ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY IF A SPILL OCCURS.
 - IN THE EVENT THAT THE EROSION AND SEDIMENT CONTROL ("ESC") MEASURE INDICATED ON THIS PLAN ARE NOT SUFFICIENT, THE CONTRACTOR SHALL PROVIDE ADDITIONAL "ESC" MEASURED TO MINIMIZE THE RELEASE OF SOILS AND SEDIMENT INTO BODIES OF WATER AND SEWERS.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION AND RE-VEGETATION HAS OCCURRED.
 - CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF COLLECTED SEDIMENT.
 - THIS DOCUMENT IS TO BE CONSIDERED A LIVING DOCUMENT AND MAY BE AMENDED IF WARRANTED BY CONDITIONS.

TREES

SYMBOL	NO.	NAME	SIZE
✱	6	CALIPER MAPLE	50mm
✱			
✱			

NOTE:
UNITS AS NOTED

BENCHMARK
TOP NUT OF HYDRANT
WEST SIDE OF RIVER STREET
96.94

NOTE:
CONTRACTOR TO CONTACT UTILITY
COMPANIES TO DETERMINE TYPE,
LOCATION, AND CONFIGURATION OF
EXISTING PLANT.

LEGEND

—●—	EXISTING TOPO GRADE
—○—	PROPOSED GRADE
—	EXISTING GRADE
—○—	STORM SEWER
—	SANITARY SEWER
—	WATERMAIN
—	BELL UNDERGROUND
—	GAS UNDERGROUND
—	CABLE UNDERGROUND
—	ELECTRICAL UNDERGROUND
—	OVERHEAD UTILITIES
—	UTILITY POLE
—	UTILITY ANCHOR
—	UTILITY PEDISTAL
—	PROPERTY BAR FOUND
—	ROAD SIGN
—	FENCE
—	TREELINE
—	TREE

—	PROPERTY BOUNDARY
—	EXISTING BUILDING

—	EXISTING BUILDING TO BE REMOVED
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—	PROPOSED BUILDING
---	-------------------

No.	By	Date	Revisions
2	BAC	2025-07-04	TOWN COMMENTS
1	CJ	2025-04-22	TOWN COMMENTS
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Drawing Title: SITE PLAN			

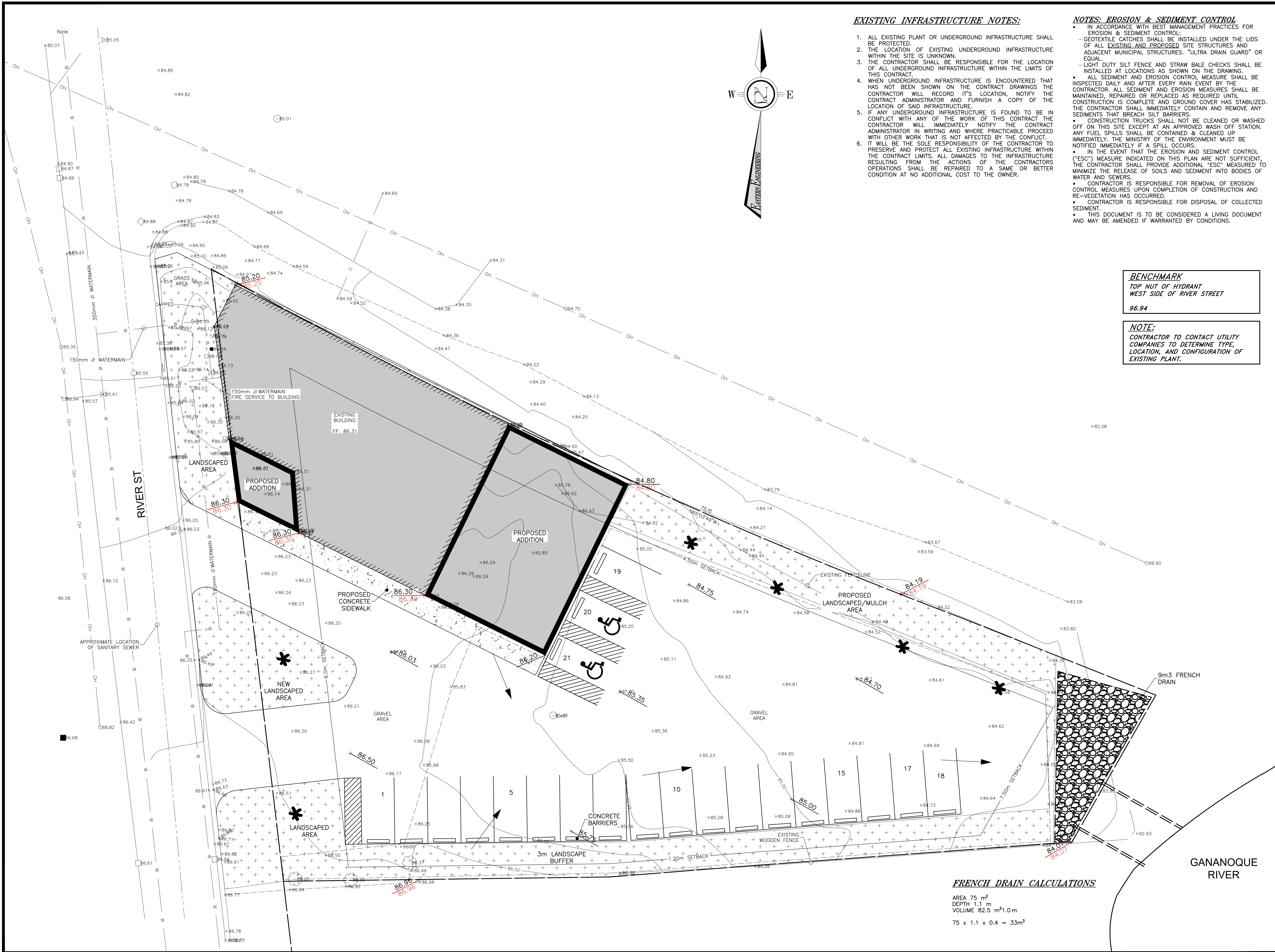
Design:	BC	Checked:	AP	Approved:	CAJ	Project No.:	9027
Drawn:	BC	Checked:	AP	Date:	2025-1-7	Contract No.:	

Scale:
0 3.0 6.0
Horizontal: 150

C1

UNITS EQUAL METRES UNLESS OTHERWISE NOTED

File No.: 9027 C12.dwg



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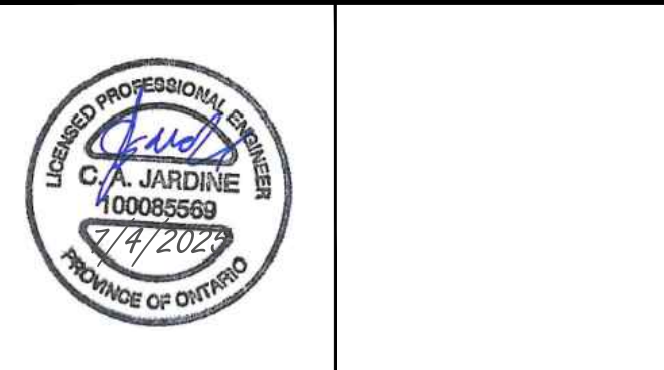
- EXISTING TOPO GRADE
- PROPOSED GRADE
- EXISTING GRADE
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- BELL UNDERGROUND
- GAS UNDERGROUND
- CABLE UNDERGROUND
- ELECTRICAL UNDERGROUND
- OVERHEAD UTILITIES
- UTILITY POLE
- UTILITY ANCHOR
- UTILITY PEDISTAL
- PROPERTY BAR FOUND
- ROAD SIGN
- FENCE
- TREELINE
- TREE
- PROPERTY BOUNDARY
- EXISTING BUILDING
- EXISTING BUILDING TO BE REMOVED
- PROPOSED BUILDING

No.	By	Date	Revisions
2	BAC	2025-07-04	TOWN COMMENTS
1	CJ	2025-04-22	TOWN COMMENTS
0	BC	2025-01-29	SITE PLAN

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Brockville, Ont. K6V 5J9
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GAN FITNESS

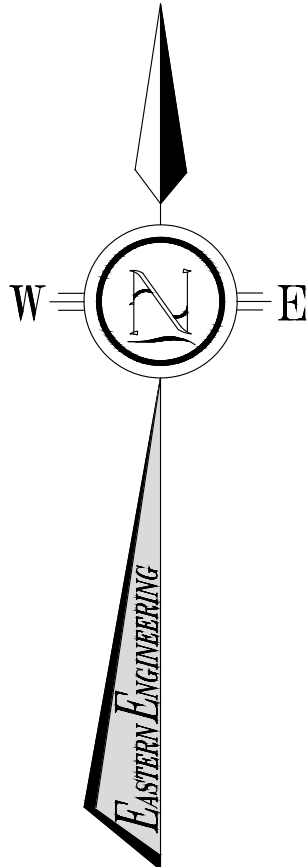
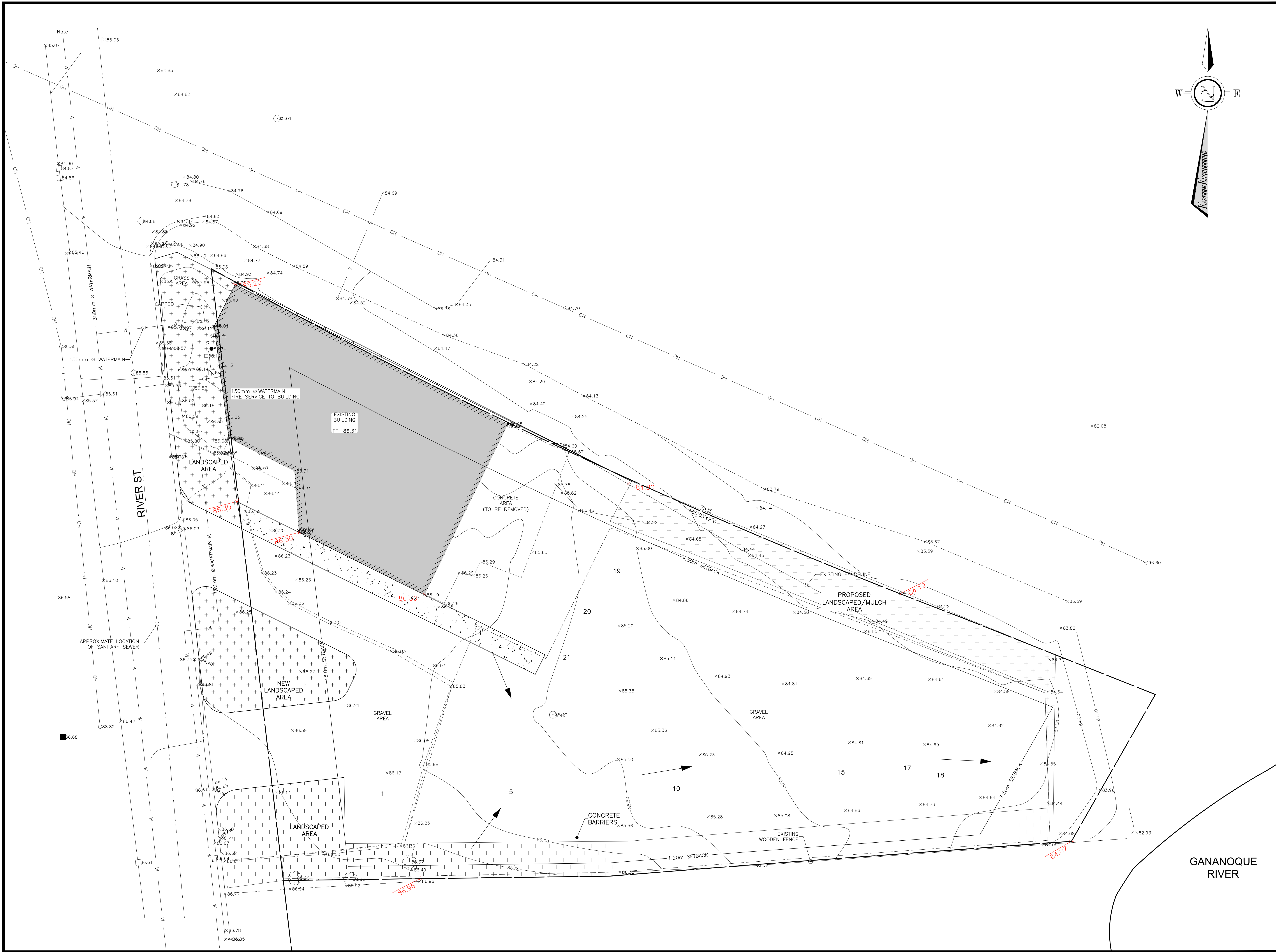
GRADING PLAN

Design:	BC	Checked:	AP	Approved:	CAJ	Project No.:	9027
Drawn:	BC	Checked:	AP	Date:	2025-1-7	Contract No.:	

Scale: 0 3.0 6.0
Horizontal: 150

C2

UNITS EQUAL METRES UNLESS OTHERWISE NOTED
File No.: 9027 C2.dwg



BENCHMARK

NOTE:
CONTRACTOR TO CONTACT UTILITY
COMPANIES TO DETERMINE TYPE,
LOCATION, AND CONFIGURATION OF
EXISTING PLANT.

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Project Title:
GAN FITNESS

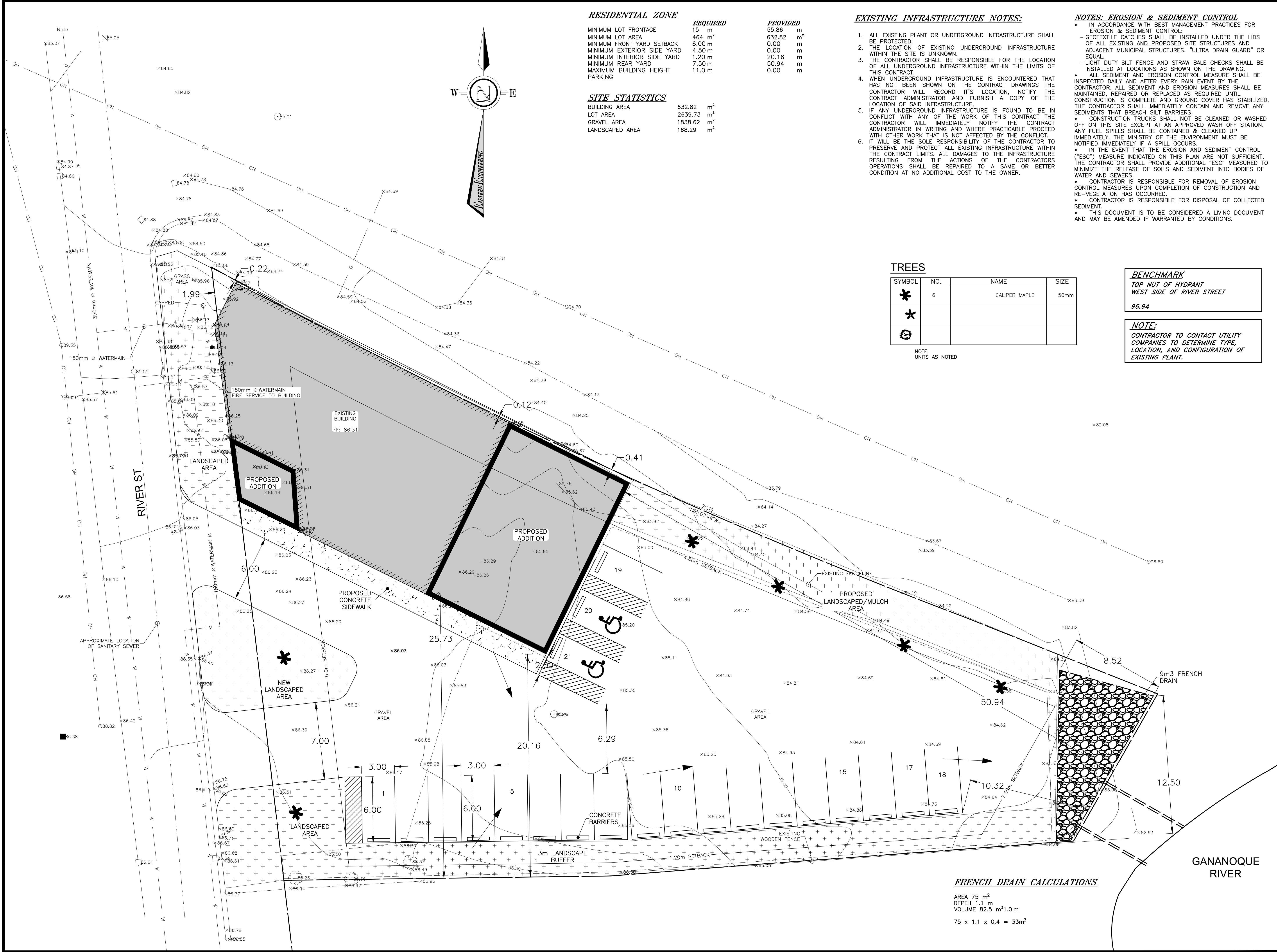
Drawing Title:
EXISTING CONDITIONS

Design:	BC	Checked:	AP	Approved:	CAJ	Project No.:	9027
Drawn:	BC	Checked:	AP	Date:	2025-1-7	Contract No.:	.

Scale:
0 4 8
Horizontal: 200
0 1 2
Vertical: 50
UNITS EQUAL METRES UNLESS OTHERWISE NOTED

File No.: 9027 Cr2.dwg

C0



RESIDENTIAL ZONE

	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	15 m	55.86 m
MINIMUM LOT AREA	464 m ²	632.82 m ²
MINIMUM FRONT YARD SETBACK	6.00 m	0.00 m
MINIMUM EXTERIOR SIDE YARD	4.50 m	0.00 m
MINIMUM INTERIOR SIDE YARD	1.20 m	20.16 m
MINIMUM REAR YARD	7.50 m	50.94 m
MINIMUM BUILDING HEIGHT	11.0 m	0.00 m

SITE STATISTICS

BUILDING AREA	632.82 m ²
LOT AREA	2639.73 m ²
GRAVEL AREA	1838.62 m ²
LANDSCAPED AREA	168.29 m ²

EXISTING INFRASTRUCTURE NOTES:

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- THE LOCATION OF EXISTING UNDERGROUND INFRASTRUCTURE WITHIN THE SITE IS UNKNOWN.
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- WHEN UNDERGROUND INFRASTRUCTURE IS ENCOUNTERED THAT HAS NOT BEEN SHOWN ON THE CONTRACT DRAWINGS THE CONTRACTOR WILL RECORD IT'S LOCATION, NOTIFY THE CONTRACT ADMINISTRATOR AND FURNISH A COPY OF THE LOCATION OF SAID INFRASTRUCTURE.
- IF ANY UNDERGROUND INFRASTRUCTURE IS FOUND TO BE IN CONFLICT WITH ANY OF THE WORK OF THIS CONTRACT THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CONTRACT ADMINISTRATOR IN WRITING AND WHERE PRACTICABLE PROCEED WITH OTHER WORK THAT IS NOT AFFECTED BY THE CONFLICT.
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NOTES: EROSION & SEDIMENT CONTROL

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TREES

SYMBOL	NO.	NAME	SIZE
* (star)	6	CALIPER MAPLE	50mm
* (star)			
* (star)			

NOTE:
UNITS AS NOTED

BENCHMARK
TOP NUT OF HYDRANT
WEST SIDE OF RIVER STREET
96.94

NOTE:
CONTRACTOR TO CONTACT UTILITY
COMPANIES TO DETERMINE TYPE,
LOCATION, AND CONFIGURATION OF
EXISTING PLANT.

LEGEND

- EXISTING TOPO GRADE
- PROPOSED GRADE
- EXISTING GRADE
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- BELL UNDERGROUND
- GAS UNDERGROUND
- CABLE UNDERGROUND
- ELECTRICAL UNDERGROUND
- OVERHEAD UTILITIES
- UTILITY POLE
- UTILITY ANCOR
- UTILITY PEDISTAL
- PROPERTY BAR FOUND
- ROAD SIGN
- FENCE
- TREELINE
- TREE

11.58
N49°15'50"E
PROPERTY BOUNDARY

EXISTING BUILDING
TO BE REMOVED

PROPOSED BUILDING

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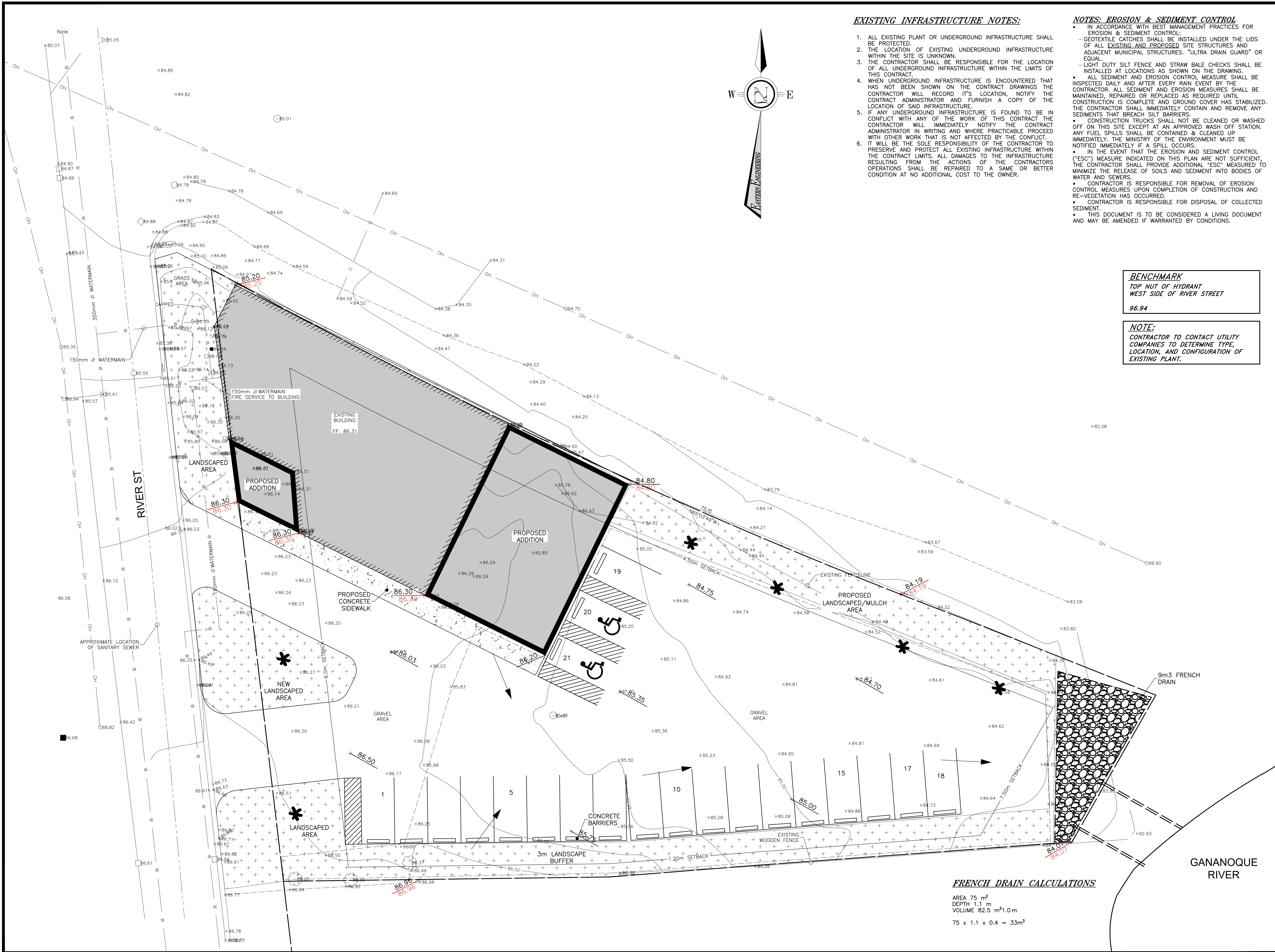
Drawing Title:
SITE PLAN

Design: BC	Checked: AP	Approved: CAJ	Project No.: 9027
Drawn: BC	Checked: AP	Date: 2025-1-7	Contract No.: .

Scale:
0 3.0 6.0
Horizontal: 150

C1

UNITS EQUAL METRES UNLESS OTHERWISE NOTED
File No.: 9027 C12.dwg



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BENCHMARK
TOP NUT OF HYDRANT
WEST SIDE OF RIVER STREET
96.94

NOTE:
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LEGEND

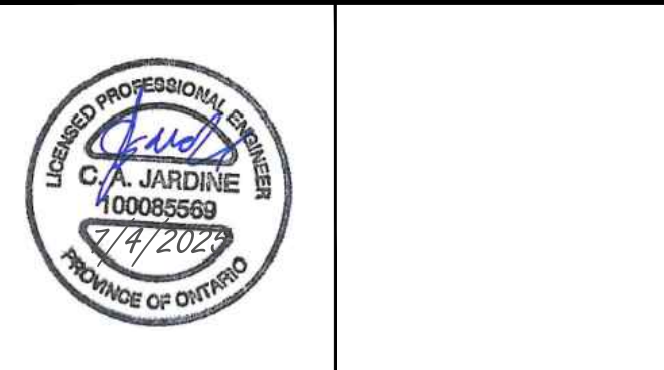
- EXISTING TOPO GRADE
- PROPOSED GRADE
- EXISTING GRADE
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- BELL UNDERGROUND
- GAS UNDERGROUND
- CABLE UNDERGROUND
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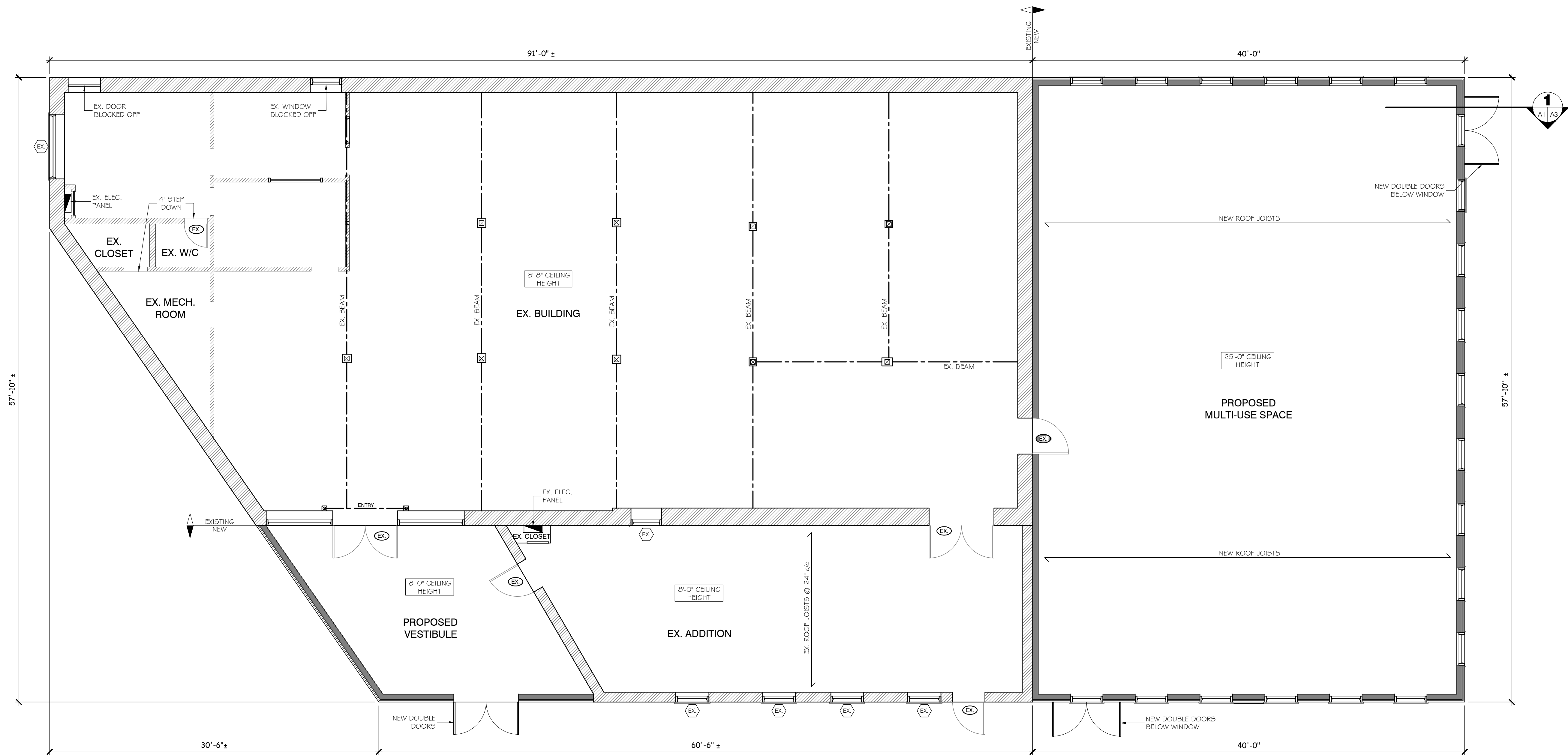
GRADING PLAN

Design:	BC	Checked:	AP	Approved:	CAJ	Project No.:	9027
Drawn:	BC	Checked:	AP	Date:	2025-1-7	Contract No.:	

Scale: 0 3.0 6.0
Horizontal: 150

C2

UNITS EQUAL METRES UNLESS OTHERWISE NOTED
File No.: 9027 C2.dwg



EX. MAIN FLOOR PLAN
SCALE: 3/8" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2024 ONTARIO BUILDING CODE.
3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THESE PLANS TO THE DESIGNER FOR REVIEW AND/OR APPROVAL.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFEGUARDING AND LOCATING OF EXISTING UTILITIES AND STRUCTURES ON SITE.
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6. WHERE NOT NOTED ON DRAWINGS, SPACING ON FRAMING MEMBERS TO BE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
7. ALL WOOD FRAMING LUMBER SHALL BE GRADE-STAMPED AS SPF No.2 OR BETTER WITH A MOISTURE CONTENT OF 19% OR LESS AT TIME OF CONSTRUCTION.
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10. ALL FINISH SPECIFICATIONS TO BE APPROVED BY OWNER.
11. SHOP DRAWINGS TO BE PROVIDED BY MANUFACTURER FOR REVIEW.

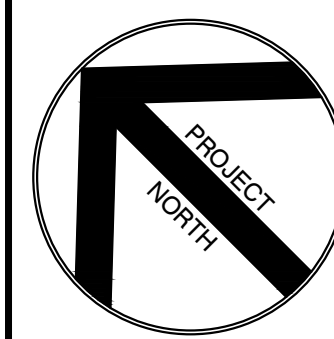
NEW / EXISTING WALLS LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALLS

No.	By	Date	Revisions
2	AGP	2025-09-02	FOR REVIEW
0	AD	2025-04-28	ISSUED FOR CLIENT REVIEW

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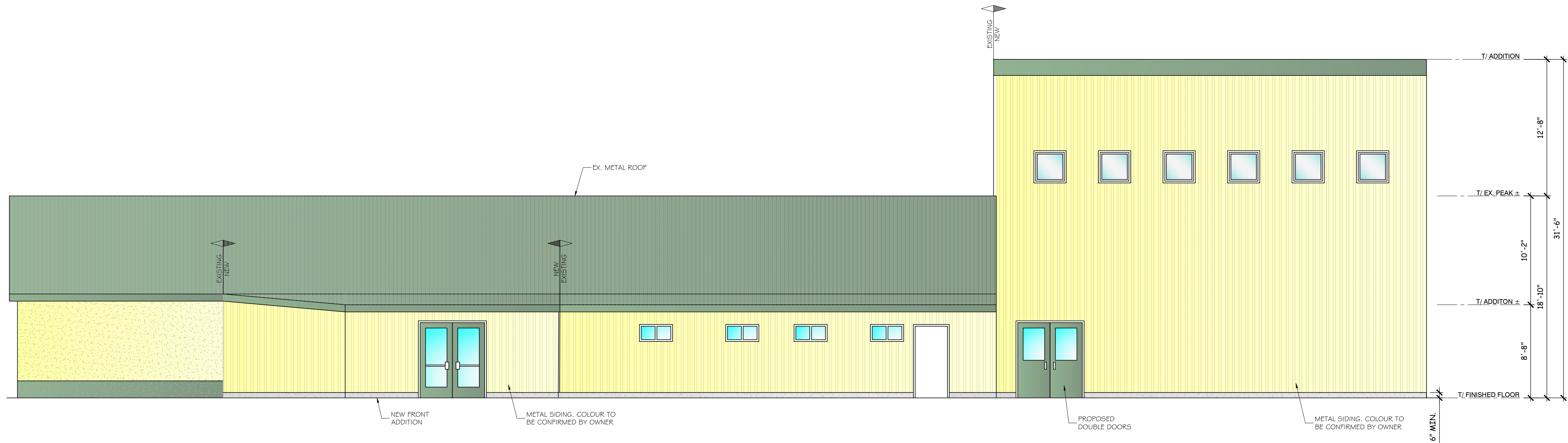


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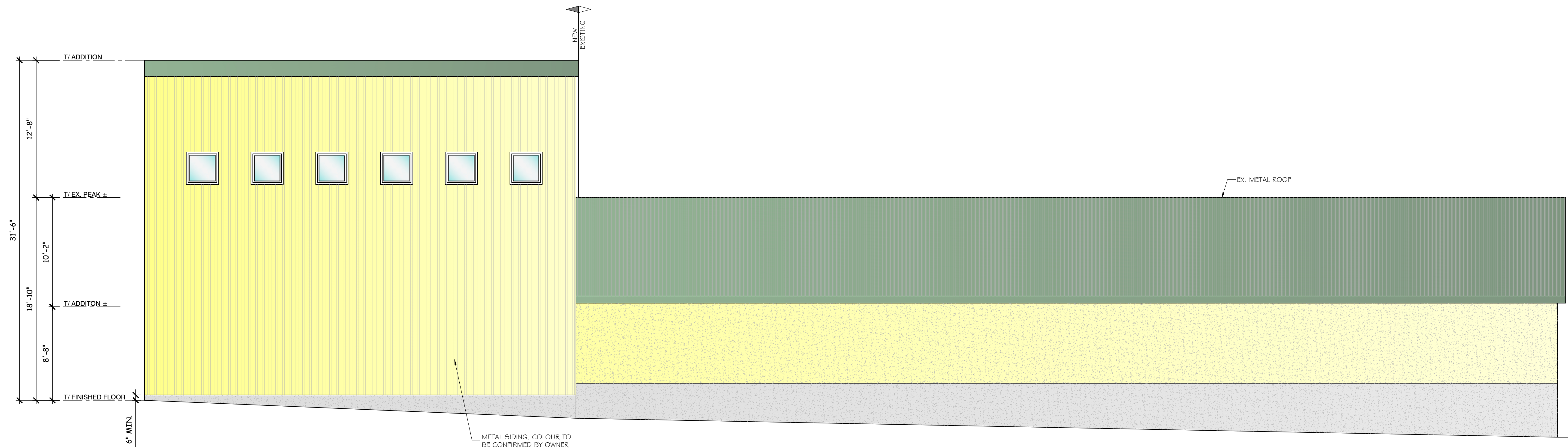
Project Title:
GANANOQUE FITNESS
145 River Street, Gananoque, ON

Drawing Title:
MAIN FLOOR PLAN

Design:	Checked:	Approved:	Project No.: 9027
Drawn: AD	Checked:	Date: 2025-04-17	Contract No.: 9027-1
Scale:	Drawing No.: A1		
Horizontal: AS SHOWN			Vertical: AS SHOWN
REV. DATE: 5/1/2025			



SOUTH-WEST ELEVATION
SCALE: 3/8" = 1'-0"



NORTH-EAST ELEVATION
SCALE: 3/8" = 1'-0"

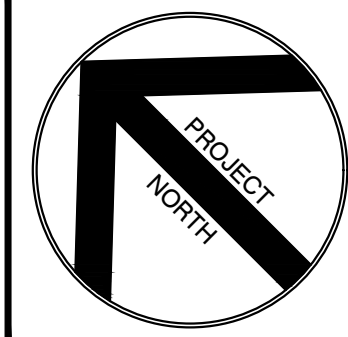
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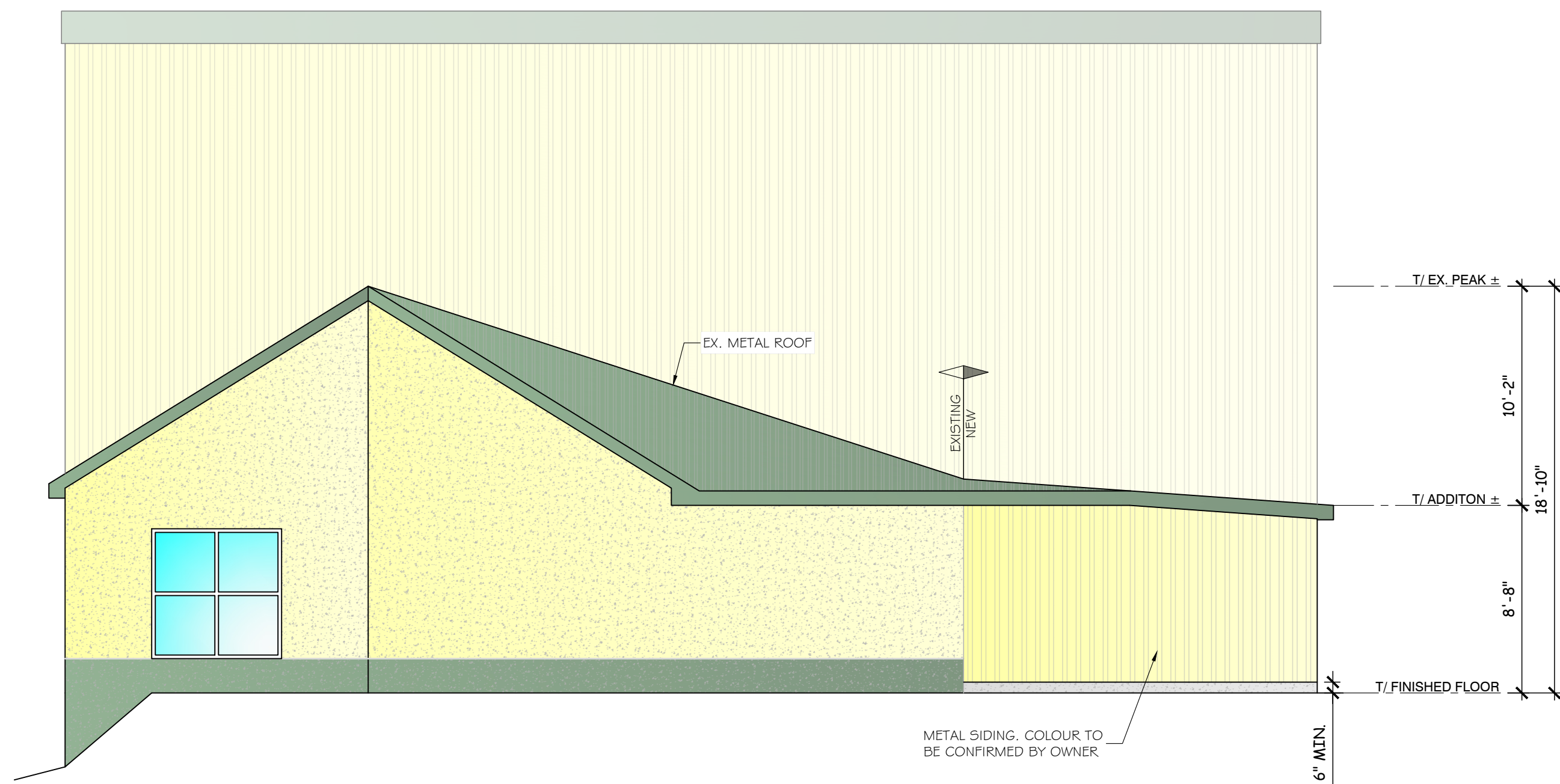


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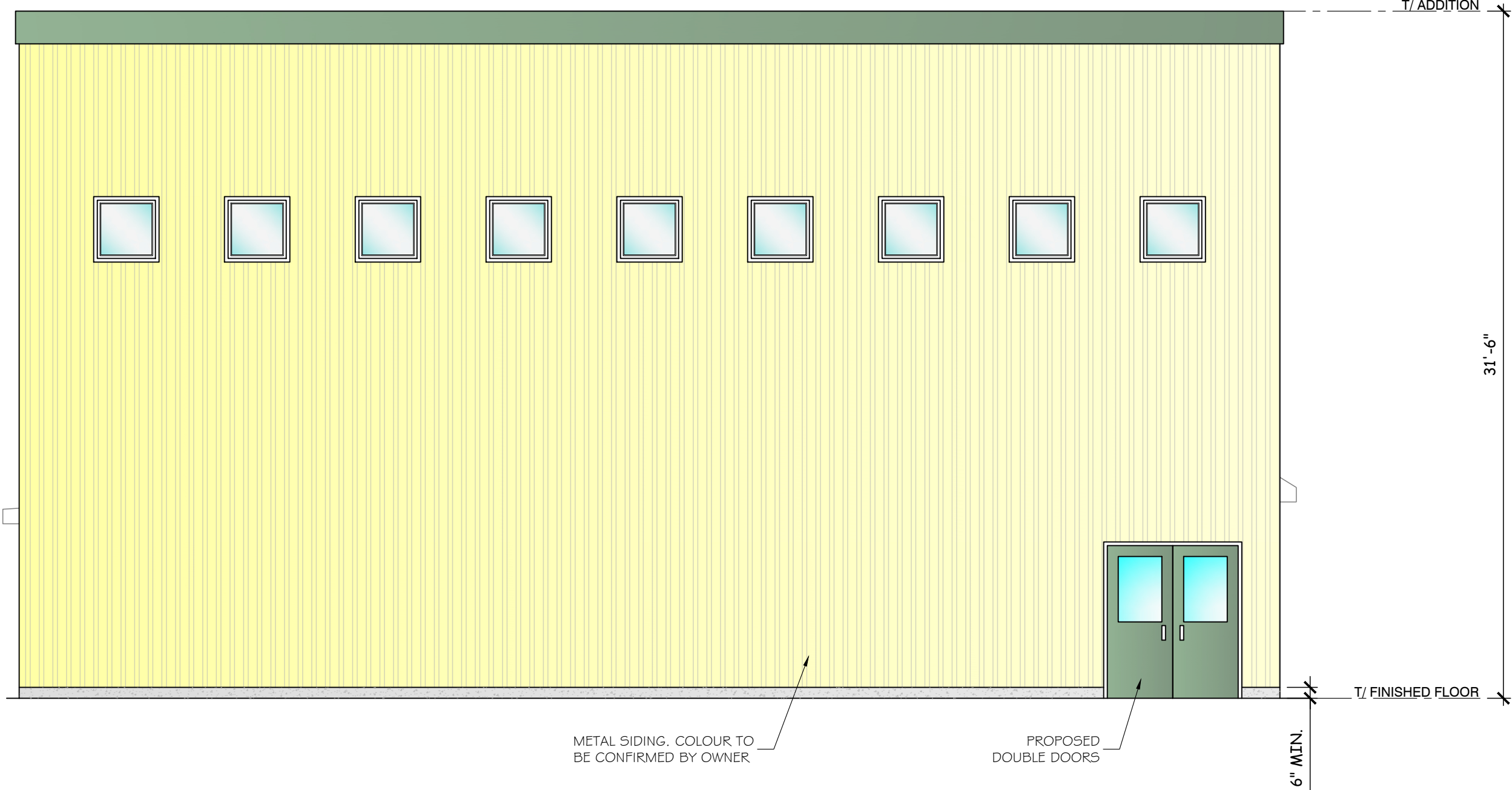
Project Title:
GANANOQUE FITNESS
145 River Street, Gananoque, ON

Drawing Title:
ELEVATIONS

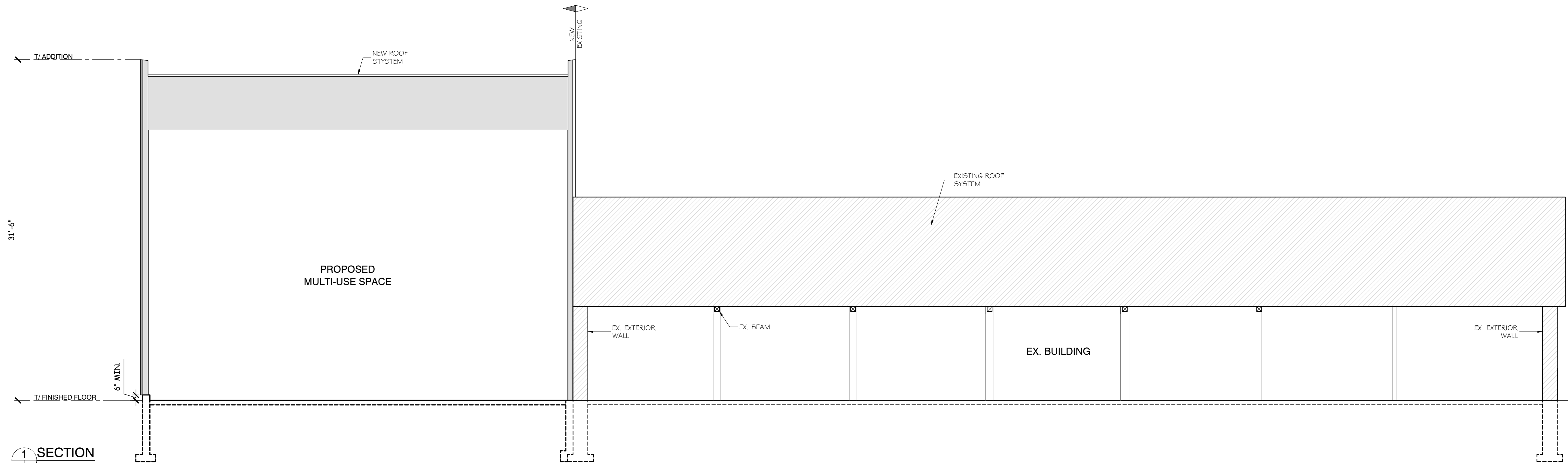
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Drawn: AD	Checked:	Date: 2025-04-17	Contract No.: 9027-1
Scale:	Drawing No.: A2		
Horizontal: AS SHOWN			REV. DATE: 5/1/2025
Vertical: AS SHOWN			



NORTH-WEST ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH-EAST ELEVATION
SCALE: 3/8" = 1'-0"



1 SECTION
A1 A3 / SCALE: 3/8" = 1'-0"

GENERAL NOTES

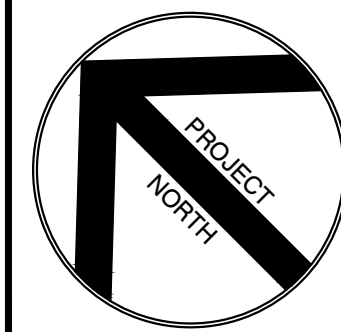
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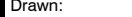


Project Title:

GANANOQUE FITNESS

145 River Street, Gananoque, ON

Drawing Title:

**ELEVATIONS
& SECTION**

Design:	Checked:	Approved:	Project No. : 9027
Drawn: AD	Checked:	Date: 2025-04-17	Contract No. : 9027-1
Scale:		Drawing No. :	
 Horizontal: AS SHOWN			
 Vertical: AS SHOWN			
REV. DATE 5/1/2025			

REV. DATE 5/1/2025

145 RIVER STREET, GANANOQUE

OFFICIAL PLAN AMENDMENT + CLASS III DEVELOPMENT PERMIT

1

May 29, 2025

Brenda Guy

Manager of Planning and Development
Town of Gananoque

Via Email: bguy@gananoque.ca

**RE: 145 River Street, Gananoque
Application for Official Plan Amendment & Class III Development Permit
Planning Justification Letter**

Dear Ms. Guy,

Fotenn Planning + Design has been retained by the applicant, Bethanie Matthews, to prepare this planning justification letter in support of applications for official plan amendment and class III development permit for the property municipally known as 145 River Street, in the Town of Gananoque. The proposed development consists of adaptively reusing and expanding the existing building on-site to establish a commercial sports and recreation facility.

The site is designated Residential, as per Schedule B of the Town of Gananoque Official Plan (OP). The site is designated Residential and Environmental Constraints, as per Schedule A of the Gananoque Development Permit By-law 2010-75. An official plan amendment is required to redesignate the site from the Residential designation to the General Commercial designation in the Town of Gananoque Official Plan. A class III development permit is required to redesignate the site to a special exception Progressive Commercial designation to establish site-specific permissions for the proposed commercial sports and recreation establishment.

A pre-consultation meeting was held between the applicant and Town Planning Staff. The pre-consultation record prepared by the Town of Gananoque, and subsequent correspondence with staff, confirmed the application requirements. The following materials are included with the submission:

- / Site Plan;
- / Floor Plans and Elevations;
- / Stormwater Management Report; and
- / This Planning Justification letter.

The purpose of this letter is to provide a review of the proposed development against the applicable policy and regulatory framework and provide a professional opinion on the appropriateness of the proposed development on the subject site.

Site Description + Surrounding Context

The property is located on the east side of River Street and abuts the Gananoque Waterfront Trail along the northern property line. The site has an area of approximately 2,640 square metres, with approximately 55.9 metres of frontage along River Street, and approximately 14.9 metres of frontage along the Gananoque River. The site is currently developed with a one-storey commercial building located in the northwest corner abutting River Street and the Gananoque Waterfront Trail. The commercial building was previously occupied by a retail use. The balance of the site is gravelled and the east portion of the site slopes towards the Gananoque River. Vehicular and pedestrian

access to the site is provided from River Street. Vehicular parking spaces are provided to the south and east of the existing commercial building.

The surrounding area is comprised of residential, open space and neighbourhood commercial uses. A Bed and Breakfast establishment is located south of the site and the Steelworkers Park is located north of the site. Sidewalks are present along the west side of River Street across from the property. The adjacent Waterfront Trail provides pedestrian and cyclist access directly to downtown Gananoque.



Figure 1: Surrounding Context (Source: Google Earth, annotated by Fotenn Planning + Design)

The following uses are immediately adjacent to the subject site:

- / **North:** Open space
- / **East:** Gananoque River
- / **South:** Residential and neighbourhood commercial
- / **West:** Residential

Development Proposal

The applicant is seeking to adaptively reuse and expand the existing building located on-site for the use of a commercial sports and recreation establishment, in the form of a fitness facility. The proposed commercial sports and recreation establishment will feature commercial grade fitness equipment, group fitness classes and personal programming, as well as indoor recreational area for various sports uses and e-bike and kayak rentals. The proposed facility will have hours of operation between 5:00 am to 9:30 pm and will typically have no more than 15 members in the facility at one time.

Two additions are proposed to the existing building, including a two-storey 210 square metre addition to the rear of the building, and a one-storey 31 square metre addition to the front of the existing building to provide a new entranceway. The proposed additions will result in a total building area of approximately 633 square metres.

The proposed development will include 16 vehicular parking spaces, including one barrier free parking space, located to the south of the commercial building. A 3-metre-wide landscape buffer will be incorporated along the south lot line between the parking area and the adjacent residential properties to the south. Trees are proposed along the north lot line and stormwater management features, including a French drain, is proposed in the east portion of the site in proximity to the Gananoque River.



Figure 2: Site Plan (Source: Eastern Engineering)

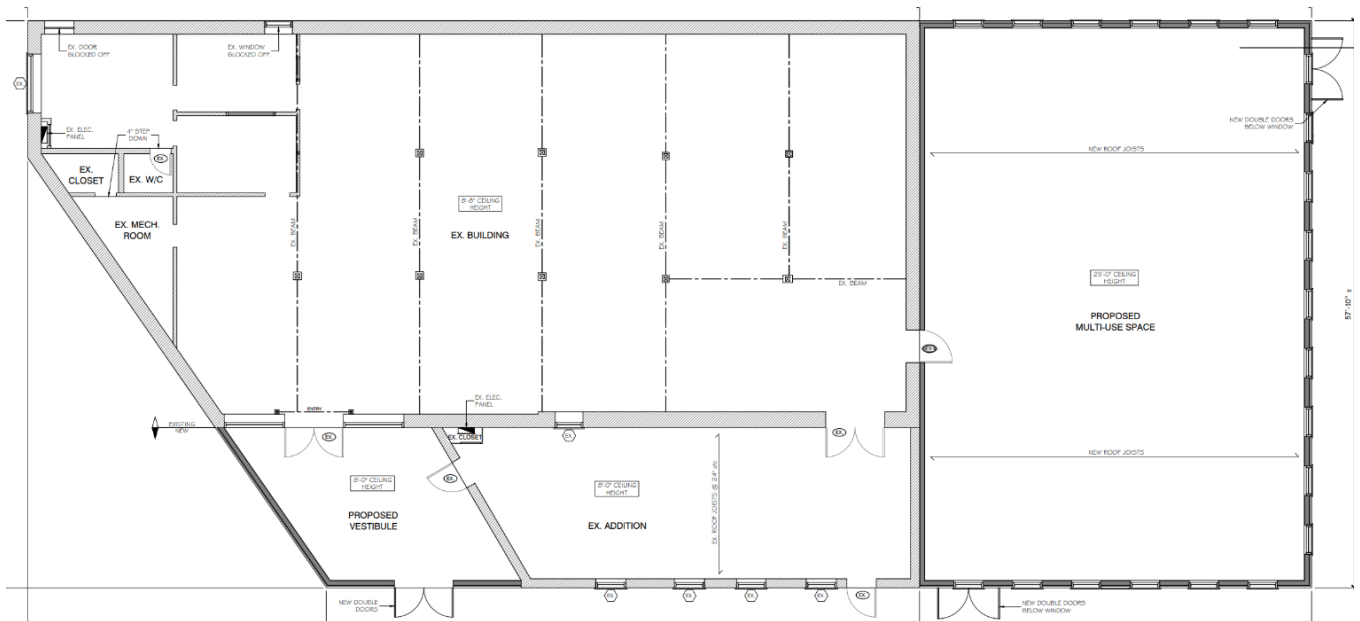


Figure 3: Floor Plan (Source: Eastern Engineering)

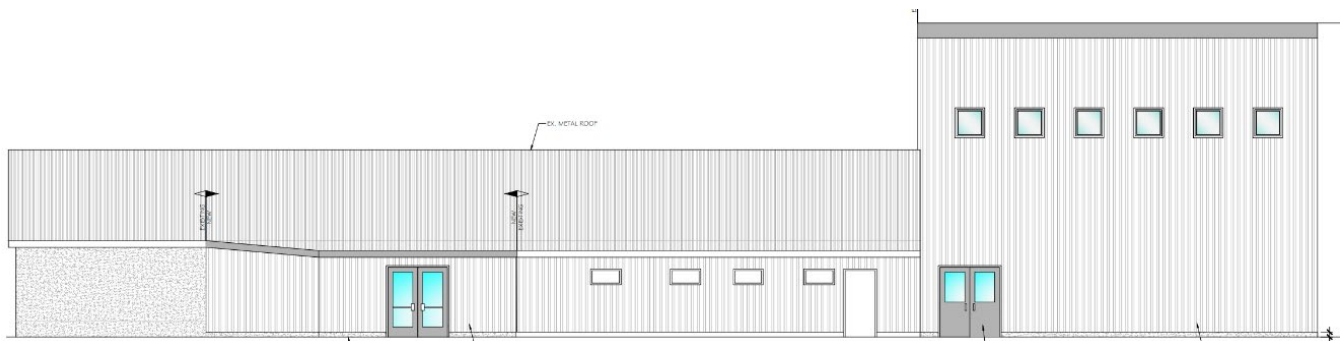


Figure 4: Southwest Building Elevation (Source: Eastern Engineering)



Figure 5: Northeast Building Elevation (Source: Eastern Engineering)

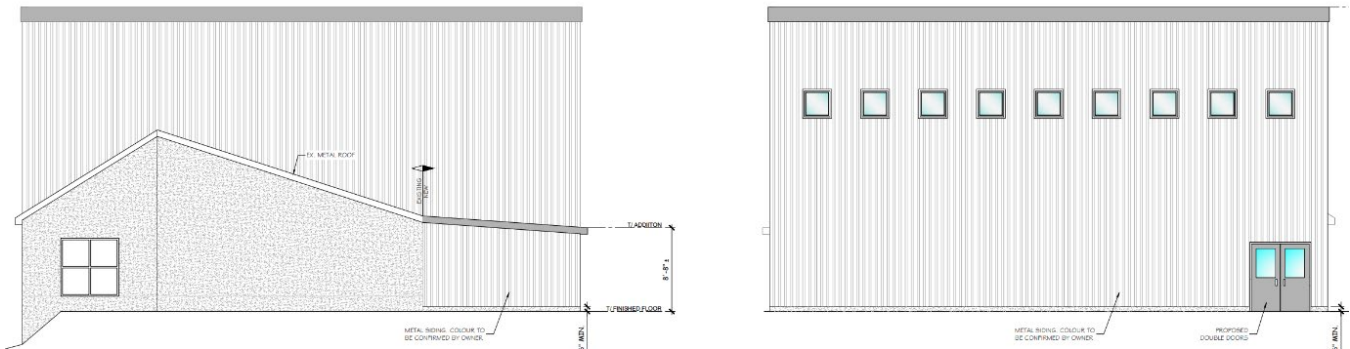


Figure 6: Northwest (left) and Southeast (right) Building Elevations (Source: Eastern Engineering)

Supporting Studies

Stormwater Management Report

A Stormwater Management Report was prepared by Eastern Engineering Group Inc., dated March 2025, to evaluate existing and proposed on-site stormwater management practices. Currently, no stormwater management facilities are present on the site. The existing gravel parking lot drains easterly towards Gananoque River.

The report provides methods to control sediment and erosion during construction, including constructing a silt fence prior to any grading where no construction activity shall occur beyond, and which shall be maintained as per the recommendations in the report, installing catch basin silt traps at all catch basins where runoff can drain, that all earth or topsoil stockpiles be surrounded with a sediment control fence, and that contractors are to clean adjacent roads on a regular basis during construction.

The report outlines that stormwater management practices for the development will be achieved through grading and use of low impact development to treat stormwater runoff on site. Stormwater storage will be provided on surface and through the establishment of an infiltration trench at the eastern portion of the gravelled area, which is labelled French drain on the site plan. Low gradient grassed areas surrounding the site will filter any suspended particulate matter and promote infiltration. The proposed low-slope flow path from the gravel parking area to the proposed infiltration trench will allow for sufficient infiltration. The Stormwater Management Report confirms that the proposed stormwater management measures will limit post development runoff to the five-year pre-development conditions.

Additionally, the report confirmed the existing building is serviced via municipal sanitary and water from adjacent streets. There will be no increase or change in servicing for the building. The existing water is a 150 mm diameter service to the property for fire protection.

Policy and Regulatory Review

Provincial Planning Statement (2024)

The 2024 Provincial Planning Statement (PPS) came into effect on October 20, 2024. The PPS provides policy direction on matters of provincial interest related to land use planning and development. Notably, the 2024 PPS sets out policies to support a strong and competitive economy in Ontario while maximizing investments in infrastructure and public service facilities and protecting natural areas, agricultural uses and sensitive areas. The Provincial Planning Statement (2024) is reviewed as follows.

Chapter 2 of the PPS provides policy guidance for development within settlement areas, as well as policies that consider employment, energy conservation, air quality and climate change.

2.3 Settlement Areas and Settlement Area Boundary Expansions

2.3.1 General Policies for Settlement Areas

1. *Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.*

The subject site is located within the Town's settlement area, where growth and development are directed to occur.

2. *Land use patterns within settlement areas should be based on densities and a mix of land uses which:*
 - a) *efficiently use land and resources;*
 - b) *optimize existing and planned infrastructure and public service facilities;*
 - c) *support active transportation;*

The proposed commercial sports and recreation establishment will adaptively reuse the existing commercial building that is municipally serviced, representing an efficient use of land, resources and municipal infrastructure. The site is well served by existing active transportation infrastructure, including the Gananoque Waterfront Trail and sidewalks located on the west side of River Street.

3. *Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.*

The proposed development promotes commercial intensification on an existing commercial building which is municipally serviced, optimizing investment in existing infrastructure. The proposed commercial sports and recreation establishment will contribute to the development of complete communities by supporting the ongoing commercial viability of Gan Fitness, a local fitness club business dedicated to promoting health and wellness. The facility will provide fitness equipment and a range of recreational services, including group fitness classes, personal training programs, sports areas, and rentals for e-bikes and kayaks, all designed to support the well-being of local residents.

2.8 Employment

2.8.1 Supporting a Modern Economy

1. *Planning authorities shall promote economic development and competitiveness by:*
 - a) *providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs;*

The proposed development supports the adaptive reuse and intensification of an existing commercial building. The proposal will provide a commercial sports and recreation establishment in proximity to residential, neighbourhood commercial, and open space uses to serve the recreational needs of current and future residents. The proposed development will support the relocation of Gan Fitness to an area that will support a wide range of community members in proximity to Gananoque's downtown core.

Chapter 3 of the PPS provides direction for locating and sustaining development through a servicing hierarchy and other mitigation measures which support proposed development:

3.6 Sewage, Water and Stormwater

2. *Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. For clarity, municipal sewage services and municipal water services include both centralized servicing systems and decentralized servicing systems.*

The subject site is serviced by municipal water and sanitary infrastructure. The proposed development will continue to be serviced by existing connections to municipal water and sanitary infrastructure.

8. *Planning for stormwater management shall:*

- b) minimize, or, where possible, prevent or reduce increases in stormwater volumes and contaminant loads;*
- c) minimize erosion and changes in water balance including through the use of green infrastructure;*
- d) mitigate risks to human health, safety, property and the environment;*
- e) maximize the extent and function of vegetative and pervious surfaces;*

A Stormwater Management Report prepared by Eastern Engineering confirms that post development flows will be maintained to pre-development conditions through proposed stormwater interventions. A French drain is proposed in the eastern portion of the property to provide necessary stormwater storage. A 3-metre landscape buffer will be provided along the site's southern property line, increasing vegetated surfaces on the site.

Chapter 4 of the PPS provides policy direction regarding the protection of natural and cultural heritage resources in the province.

4.1 Natural Heritage

6. *Development and site alteration shall not be permitted in fish habitat except in accordance with provincial and federal requirements.*

The site has frontage on the Gananoque River but does not directly abut the watercourse. No site alteration is proposed within, or in proximity to fish habitat.

4.2 Water

2. *Development and site alteration shall be restricted in or near sensitive surface water features and sensitive ground water features such that these features and their related hydrologic functions will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.*

Portions of the site are identified as a significant groundwater recharge area and highly vulnerable aquifer as per the Cataraqui Region Conservation Authority. The proposed development is not anticipated to pose any threat to ground water or surface water features, as confirmed by the Stormwater Management Report.

Chapter 5 of the PPS provides policy direction protecting public health and safety by regulating development in relation to natural and human made hazards.

5.2 Natural Hazards

2. *Development shall generally be directed to areas outside of:*
- b) hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards.*

All proposed development is located outside of the required 30 metre waterfront setback from the Gananoque River, mitigating flooding and erosion hazards.

It is our professional planning opinion that the proposal is consistent with the Provincial Planning Statement (2024).

United Counties of Leeds & Grenville Official Plan (2016)

The Town of Gananoque is a separated partner municipality that forms part of the geographical boundary of the United Counties but is not administratively part of the Counties. The policies of the United Counties Official Plan do not apply within the Town of Gananoque, except in so far as they may address planning matters which require cross-jurisdictional coordination. No cross-jurisdictional coordination is anticipated to be required regarding the proposed development. As such, the policies of the United Counties Official Plan are not included as part of this planning policy review.

Town of Gananoque Official Plan (2009)

The Township of Gananoque Official Plan (OP) passed in September 2009 describes goals, policies and objectives intended to guide the Township's development over the next 20 years. It is understood that the Town of Gananoque is undertaking an update to the OP. A Draft Official Plan (draft OP) is publicly available on the Town's website, dated December 6, 2024, and will be reviewed in the subsequent section of this report. The subject site is designated Residential, as per Schedule B of the current OP.

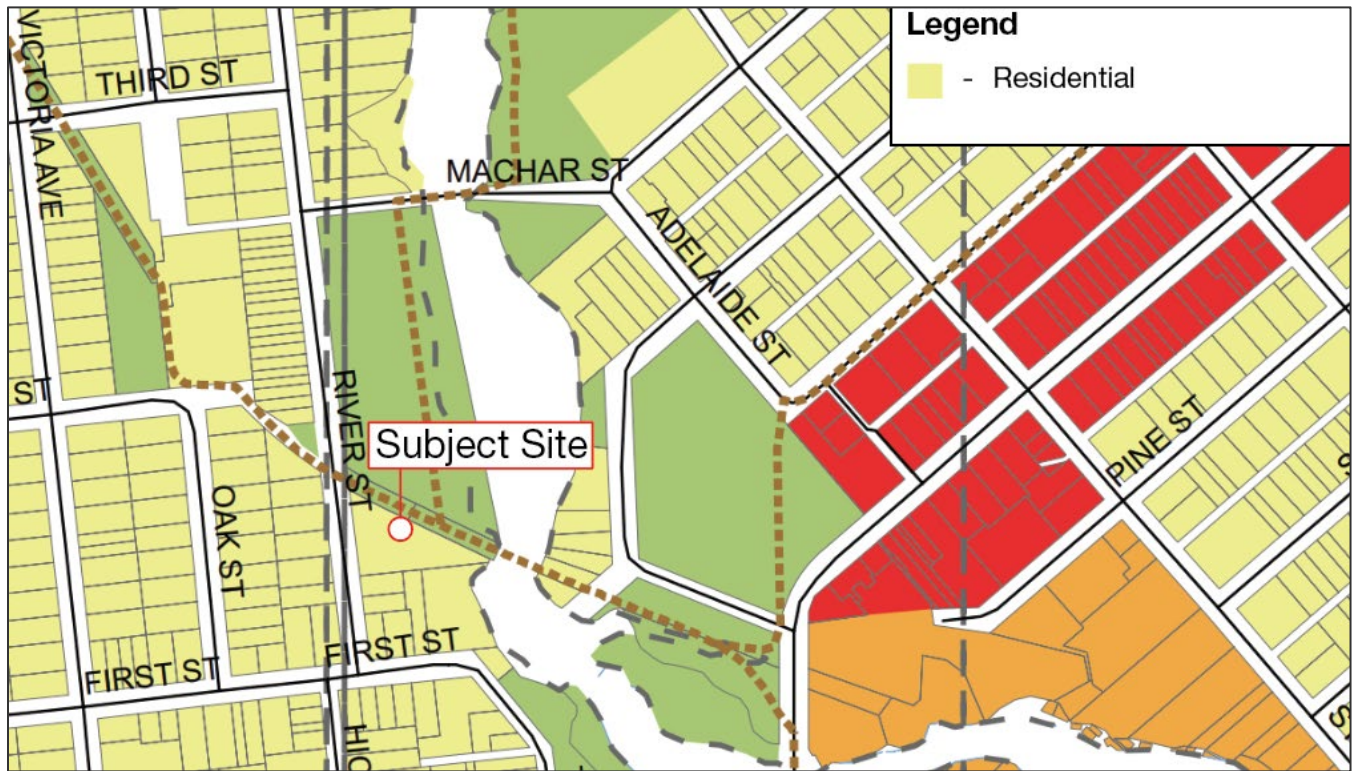


Figure 7: Town of Gananoque Official Plan Schedule "I" Land Use (Source: Town of Gananoque annotated by Fotenn)

An official plan amendment is proposed to redesignate the site to General Commercial to permit the proposed commercial sports and recreation establishment. For the purpose of assessing the appropriateness of the proposal in the context of the OP, the development will be assessed under the proposed General Commercial designation.

The following OP Sections will be discussed as they relate to the proposed development with policies identified as being relevant to the application indicated in *italics*.

- / Section 2.0: Vision, Guiding Principles, and the Planning Context
- / Section 3.0: Land Use Policies
- / Section 4.0: Making it Work – Our Infrastructures
- / Section 5.0: Implementing the Plan – Planning Toolkit

Section 2.0 of the OP describes the long-term vision and guiding principles of the Plan. Sections 2.1 and 2.2 of the OP outline the vision for the Town of Gananoque, as well as the key guiding principles at the core of the OP's policies. The vision statement is intended to be the expression of Council's vision for the future of the Town.

2.1 Our Vision

Our Vision is to preserve and enhance the Town's unique "small town" heritage, preserve our historic and environmental character, and provide a high quality of life through a sustainable development pattern.

The proposed development enhances the character of the surrounding area by adaptively reusing the existing building and supporting a modest expansion of the existing building. The proposed commercial sports and recreation establishment will support the health and wellbeing of the community by providing a wide range of recreational services, promoting a high quality of life.

2.2 Our Guiding Principles

2. *The waterfront will be maintained and improved as a community focal point and will be enhanced through balanced, sustainable public and private development.*

The proposed commercial sports and recreation establishment will be setback approximately 56 metres from the Gananoque River, ensuring no negative impacts to the waterfront. The proposed development will support locally appropriate commercial development which will contribute to the recreational amenity of the waterfront area, providing services such as e-bike and kayak rentals, sports areas, and fitness programming.

4. *We are committed to preserving and enhancing the quality of our residential neighborhoods through appropriate housing types, densities and transitions from adjoining land uses.*

The proposed development will consist of two additions to the existing commercial building on the site and the establishment of a commercial sports and recreation establishment in the adaptively reused building. The site is located in a predominantly residential area with neighbourhood commercial uses located to the south and open space uses located with the east and north. The majority of building and site changes will be located in the east portion of the site, farthest from residential uses to assist with preserving the quality of the area. A 3-metre landscape buffer will be provided along the southern lot line of the property to support appropriate transitions between the commercial use on the site and the adjacent residential neighbourhood.

7. *We are committed to increasing the diversity of arts, cultural and recreational opportunities.*

The proposed commercial sports and recreational facility will provide a wide range of recreational opportunities including group fitness classes and personal programming, indoor recreational areas for various sports uses and e-bike and kayak rentals.

8. *We will protect our natural environment.*

The proposed development is adequately separated from the Gananoque River, protecting the natural environment. The proposed stormwater management measures will ensure no negative impacts to groundwater or surface water. The proposed development represents the adaptive reuse and modest expansion of the existing building, minimizing land consumption, and thereby protecting the environment.

2.3 Planning Context

1. *Future residential and non-residential growth and development shall occur in the Town's settlement area which is defined as all of the land located inside the Town's corporate limits with the exception of lands designated Rural as shown on Schedule E.*

The proposed development supports commercial growth within the Town's settlement area.

2. *Future development shall occur through logical planned extensions of existing developed areas, through infill on existing vacant lands in developed areas or through redevelopment of existing developed lands.*

The proposed development supports the adaptive reuse and modest expansion of an existing commercial site.

3. *It is the intent of this Plan to achieve a modest increase in the density and intensity of land use through the redevelopment or re-use of existing vacant or underutilized buildings and properties. Increased land use density, though desirable to ensure more efficient delivery of public services, shall not occur where*

increased density or intensity of use would result in a negative impact on an areas heritage value or on a neighborhood's existing residential character.

The proposed development represents adaptive reuse and modest expansion of the existing commercial building, and the establishment of a commercial sports and recreation facility. The development will result in a modest increase in intensity on the site through redevelopment. The proposed adaptive reuse of an underutilized commercial building will be supported by existing municipal services and is not anticipated to result in negative impacts to the surrounding residential neighbourhood.

Section 3.3 of the OP outlines the policy direction for Commercial lands in the Town. The proposed official plan amendment seeks to redesignate the site from the Residential land use designation on Schedule B to the General Commercial land use designation on Schedule C, to permit the proposed commercial sports and recreation establishment on the site. Section 3.3 states that enhancing commercial development is crucial to the Town's quality of life, and that commerce provides employment through the sale of goods and services to residents and visitors, which supports the financial wellbeing of the town. Section 3.3 identifies that currently, King Street is the Town's primary commercial artery where all commercial designations are located. The OP does not prohibit General Commercial development outside of the King Street artery.

Section 3.3.1 sets out a goal of providing a supportive land use policy framework which reduces constraints for commercial development, while ensuring that commercial uses contribute to the Town's small town character. Section 3.3.1 also provides the following objectives:

1. *Support a diverse range commercial uses that meet the existing and future needs of the community and reduces the need for residents to shop elsewhere;*

The proposed development will support the creation of a diverse range of commercial uses within the community by establishing a commercial sports and recreation establishment in proximity to the Town's core, promoting recreational opportunities, and supporting the health and well-being of residents.

2. *Accommodate a range of commercial formats from smaller pedestrian-oriented stores in the central King Street area to highway commercial type uses near Highway 401;*

The proposed development represents a smaller pedestrian oriented commercial use and building. Two additions are proposed to the building which will provide sufficient space to accommodate the proposed commercial use, while keeping with the character of the existing building with the surrounding residential neighbourhood.

4. *To encourage the maintenance and improvement of existing commercial buildings.*

The proposed development will support the ongoing commercial viability of the existing building, by providing new uses within an underutilized commercial building. The new additions and improvements will support the long-term upkeep of the existing commercial building.

3.3.2.1 General Commercial Policy Area

3.3.2.1.1 Permitted Uses

Retail and service commercial development intended to serve the needs of local residents and visitors and include a wide range of small scale uses including retail stores, personal service establishments, professional offices, restaurants, banks and financial services, travel accommodations, and community services.

The proposed commercial sports and recreation establishment will provide personal services by supporting the recreational needs of local residents and visitors through the provision of commercial fitness equipment, fitness classes, sports areas, and e-bike and kayak rentals.

3.3.2.1.2 General Commercial Policies

All new commercial development, and infill commercial development in existing areas shall provide adequate off-street parking. Access to parking shall be designed to minimize conflict between pedestrian and vehicular traffic. Access to commercial development from residential streets shall be avoided.

New or redeveloped commercial uses in the General Commercial designation shall be oriented to pedestrian and vehicular traffic with an emphasis on the ease of movement for pedestrians between commercial establishments.

Where off street parking is required due to development or redevelopment of commercial land uses, such parking shall generally be located to the side or rear of establishments in order to foster a pedestrian friendly environment.

The proposed development will incorporate a total of 16 parking spaces, including one barrier free parking space, to adequately provide on-site parking for users. The existing vehicular entrance to the site will be maintained to support safe vehicular access to the site. The existing commercial building is oriented towards River Street and the Gananoque Waterfront Trail, and a proposed addition will provide an improved building entrance to facilitate ease of access from the proposed parking area and River Street. Proposed parking spaces are located to the rear and side of the existing commercial building.

Section 3.6 of the OP provides policy direction on matters relating to sustainability and the protection of the Town's natural heritage landscape. As per Schedule F of the OP, the subject site features, or is immediately adjacent to, certain limited natural heritage features, including areas of unstable slope, flood plains, and fish spawning areas. The proposed development has a setback of approximately 56 metres from the Gananoque River, which is the location of the identified natural heritage features. The proposed development is not anticipated to have any impact on natural heritage features and will not pose a danger to public safety or health.

Section 3.7 of the OP provides policies relating to development constraints posed by hazardous conditions, including floodplains, erosion hazards, and the presence of unstable slopes or organic soils. Unstable slopes and a flood plain line are located on the site, as identified on Schedule G. The proposed development is sufficiently set back from the development constraints identified on the site, and as such, the proposed development will not pose a danger to public health or safety, or result in property or environmental damage.

Section 4.0 of the OP provides policy direction regarding local infrastructure, including matters such as roads, servicing, and stormwater management. As per Section 4.1, it is the goal of the OP to ensure that effective infrastructure services are provided in a cost-effective manner, and which ensures the protection of our environment.

4.1.3.2 Local Roads

2. *Local Collector Local collectors are identified on Schedule H. Access to local collectors shall generally be minimized in order to ensure that the main function of the roadway as an efficient transportation artery is maintained. Access control shall be established in the zoning by-law. The minimum width of any local collector right of way shall be 20 metres.*

The site has frontage on River Street, which is identified as a collector road on Schedule H. The existing entrance from River Street will be maintained, and no additional entrances are proposed to be created.

4.1.4 Water, Waste Water and Stormwater Services

4.1.4.1 General Policies

2. *Development will not be encouraged where such development would result in, or could lead to, unplanned expansions to existing water and waste water infrastructures.*

The proposed development will be sufficiently serviced by existing municipal water and sanitary services. There will be no increase or change in servicing for the building.

5. *Stormwater management will be required, as outlined in MOE's Stormwater Management Planning and Design Manual 2003, for all new development in accordance with guidelines which may be developed by the Ministry of Natural Resources, the Cataraqui Region Conservation Authority or the Town of Gananoque. Stormwater management may not be required for small scale developments such as lots created through the consent process or minor developments subject to site plan control where there is no impact on the watershed.*

The Stormwater Management Report confirms that no adverse impacts are anticipated as a result of the proposed development. Stormwater Management measures are outlined in the report and will be implemented on-site as described.

4.1.6 Surface Management Plans

In order to control flooding, ponding, erosion and sedimentation and to protect, as much as possible, water quality and aquatic habitat or other natural habitat which depend upon watercourses and other water bodies for their existence, surface water management plans (or stormwater management plans) shall be required for some forms of new development. Storm water management plans shall be required for any new development consisting of more than four lots or for commercial or industrial developments with large amounts of impervious area. Stormwater management will be undertaken in accordance with the Ministry of the Environment Guideline entitled "Stormwater Management Planning and Design Manual, 2003". Stormwater management may not be required for small scale developments such as lots created through the consent process or developments subject to site plan control where there is no impact on the watershed.

The Site Plan prepared in support of the subject applications provides details related to grading, drainage, stormwater management and erosion and sediment control, in accordance with the pre-application requirements. The Stormwater Management Report confirms that no negative impacts are anticipated as a result of the proposed development.

Section 5.0 of the Official Plan outlines the various planning tools available for implementation of the policies in the Plan, including general criteria for new development applications.

5.4.4 Development Criteria

Councils shall consider the following development criteria when reviewing the compatibility and appropriateness of any new development or redevelopment, when considering amendments to the Zoning By-law and in considering, where applicable, the requirements for site plan control under Section 41 of the Planning Act:

1. *The provision of safe access onto or from a local or Town road or provincial highway.*

Access to the site is provided from River Street, which is identified as a local collector road on Schedule H of the OP.

2. *Adequate access to, and provision of, off-street parking.*

The development will include 16 on-site parking spaces, including one barrier free parking space. Parking spaces are provided to the side and rear of the existing commercial building and will be accessed from the entrance from River Street.

3. *Barrier-free access to public and commercial buildings and the designation of parking spaces for physically challenged persons.*

One barrier free parking space will be provided on the site, as required by the Development Permit By-law. The proposed building additions will comply with the Ontario Building Code, meeting all relevant provincial standards to ensure accessibility.

4. *Access and maneuvering of emergency vehicles in providing protection to public and private properties.*

The proposed site layout meets all minimum standards to ensure the safe and efficient movement of vehicles.

5. *The availability of municipal services and the cost of upgrading such services including water, sewage treatment facilities, fire and police protection, street lighting, roads and winter maintenance, waste disposal, community facilities and recreation.*

No changes to municipal services are required for the building, minimizing unnecessary infrastructure costs.

6. *Adequate grade drainage or storm water management and erosion control.*

The Stormwater Management report confirms that adequate drainage, stormwater management, and erosion control measures are planned or present on the site.

8. *The provision of landscaping, the creation of privacy and/or open space areas around buildings and other uses, and the establishment of setbacks to maintain proper distance separation between new development and natural heritage sites, natural hazards and resource areas and development constraints such as noise and vibration.*

The proposed development will be setback approximately 56 metres from Gananoque River, a natural heritage feature. The separation between the River and the commercial building will consist of landscaped area, the proposed French drain for stormwater management purposes, and the gravel parking area. The proposed development will be adequately separated from natural heritage features, natural hazards and any development constraints.

9. *Adequate exterior lighting for access and parking areas for public or private use such as in commercial, industrial, institutional and multiple residential development.*

Adequate exterior lighting will be provided for the building and parking area.

10. *The control of signs and advertising such that they are in scale with the intended use and with surrounding uses.*

Any on-site signage will be scaled appropriately.

11. *Protection of the environment by avoiding air, soil or water pollution.*

The proposed development mitigates impacts to the environment by supporting commercial intensification through the adaptive reuse of an existing commercial building. The proposed development will have no adverse impact on the Gananoque River, as confirmed through the Stormwater Management Report. The proposed development will not result in the creation of air, soil or water pollution.

12. *The preservation and protection, whenever possible, of street trees, street tree canopies and the urban forest.*

The subject site does not contain any trees, however, trees are proposed to be planted along the north lot line.

13. *The adequacy of school board facilities to accommodate new development or redevelopment and the provision or availability of school bussing.*

No new residential development is proposed as part of the applications.

14. *Protection or enhancement of natural resource values.*

The proposed development is sufficiently set back from the Gananoque River and will not pose any adverse impacts to groundwater or surface water, preserving the natural heritage value of the watershed.

15. *Conserving cultural heritage resources.*

No cultural heritage resources are identified on or in proximity to the site, as determined by the Town of Gananoque's Municipal Register of Designated Properties.

16. The physical suitability of the land for the proposed use.

The site is suitable to support the proposed commercial sports and recreation establishment, as it provides an adequate lot area and topography, sufficient access to River Street, municipal services, and adequate off-site parking.

17. Safety and Security Criteria

When reviewing development applications, ensure that safety and security measures are considered through such means as:

- 1. sufficient lighting in spaces intended for public use after dark to support the kind of activities envisioned for that space;*
- 2. signs and an overall pattern of development that supports users' sense of orientation and direction;*
- 3. preservation of clear lines of sight for persons passing through the space;*
- 4. attention to the proposed mix of uses and their proximity to each other to ensure they are complementary;*
- 5. the routing and design of bicycle and pedestrian routes so that they are accessible to populated areas.*

The development will incorporate sufficient lighting, signage and clear lines of sight. The proposal seeks to adaptively reuse the existing building and continue a commercial use on the property in proximity to residential, open space and neighbourhood commercial uses. The proposed use is appropriately located and will ensure a complementary mix of uses. Pedestrian routes will be provided within the site in proximity to the building and parking areas.

Section 5.9 of the Official Plan pertains to encouraging new economic growth within the Town.

5.9.2 Goals and Objectives

Goal: To sustain the strengths of the existing economic base and to broaden the Town's employment opportunities.

Objectives:

- 1. To sustain and to build on the existing strength of the commercial, industrial and tourism sectors of the economy.*
- 2. To undertake initiatives to stimulate new employment generation.*
- 3. To work cooperatively with senior governments and community groups in promoting and undertaking economic development activities.*

The proposed commercial sports and recreation establishment will support the ongoing commercial viability of Gan Fitness, an established local fitness club business, sustaining the Town's economic base, and providing vital recreation services.

It is our professional planning opinion that the proposed official plan amendment and class III development permit applications conform with the general intent of the applicable policies of the Town of Gananoque Official Plan (2009).

Town of Gananoque Draft Official Plan Update (2024)

The Town of Gananoque is currently undertaking an update to the Official Plan (OP). A draft background report was prepared by J.L. Richards in 2021. The most recent public meeting regarding the update to the OP was held in March 2022, and a draft Official Plan ("draft OP") dated December 6, 2024, is available on the Town's website. The draft OP is reviewed in addition to the in-force-and-effect policies of the 2009 OP. It is worth noting that the draft OP does not include consideration for the PPS 2024, which came into effect on October 20, 2024.

Policy changes proposed through the draft OP are generally minor in relation to the proposed development, and do not impact the conformity of the proposed development with the draft OP as it currently exists. Key changes from

the in-effect OP include the introduction of policies that promote intensification through redevelopment and infill within the Town's developed areas (Section 2.3). Specifically, the draft OP supports the intensification of commercial lands to increase the number and diversity of employment options in the Town (Section 2.2.5). The draft OP supports an increase in the density and intensity of land use through compact form, and redevelopment or re-use of existing vacant or underutilized buildings and properties (Section 2.3.4). Notably, the draft OP provides the following criteria to evaluate applications for intensification and redevelopment (Section 2.3.5):

a) the suitability of the site in terms of size and shape of the lot, soil conditions, topography and drainage;

The property is suitable in size and shape for the proposed commercial use. The topography and drainage of the site is suitable to support the proposed building additions with no adverse impacts, as confirmed through the Stormwater Management Report.

b) impacts of the proposed development of surrounding natural features and areas and cultural heritage resources; and,

The proposed development is setback approximately 56 metres from the Gananoque River, protecting the natural feature from potential impacts. No cultural heritage resources are identified on or in proximity to the site.

c) the relationship between the proposed development and any natural or manmade hazards;

The existing commercial building and proposed two-storey building addition will be setback approximately 56 metres from the Gananoque River watercourse, avoiding natural or manmade hazards.

d) the provision of adequate ingress/egress, off street parking and loading facilities, and safe and convenient vehicular circulation;

The existing entrance from River Street will be maintained to support the proposed development, providing adequate ingress and egress for vehicular circulation. A total of 16 parking spaces will be provided on-site, including one barrier free parking space.

e) the impact of traffic generated by the proposed development on the road network and surrounding land uses;

No adverse impacts to the surrounding road network or adjacent land uses are anticipated as a result of the proposed development.

f) the availability of existing or planned, or potential to enhance, active transportation infrastructure; and

The site is located adjacent to the Gananoque Waterfront Trail, and sidewalks on the west side of River Street. The site is well served by existing active transportation infrastructure in the surrounding area.

g) the compatibility of the proposed development on existing and planned character.

The proposed sports and recreation establishment will adaptively reuse the existing commercial building on the property. The proposed building additions will complement the existing building on-site and will be compatible with the surrounding residential neighbourhood. Given the long-standing commercial use of the property, the proposed sports and recreation establishment on the site will not change the compatibility of the proposed development on the existing character of the area.

Draft OP policies relating to the General Commercial designation are similar to the policies of the in-effect OP. Draft OP commercial policies provide a more robust policy framework for mixed use commercial and residential development. The proposed development is not impacted by the proposed changes to the General Commercial policies in the draft OP.

Section 3.6 of the draft OP regulates natural heritage matters in the Town of Gananoque. Section 3.6.3 of the draft OP includes new policies relating to Highly Vulnerable Aquifers (HVAs) and Significant Groundwater Recharge

Areas (SGRAs) as identified in the Cataraqui Source Protection Plan. Portions of the site are in an area identified as an HVA and SGRA, which include the majority of lands in the Town. The proposed uses on the site will not pose any risk to groundwater. There will be no chemical handling or storage of any items listed in the Cataraqui Source Protection Plan.

Other policies of the draft OP that are relevant to the proposed development are water, wastewater, and stormwater policies support intensification on existing municipal services (Section 4.4.3). No upgrades to existing municipal service connections are required to service the proposed development.

It is our professional planning opinion that the proposed official plan amendment and class III development permit applications conform with the general intent of the applicable policies of the Town of Gananoque Draft Official Plan Update (2024).

Town of Gananoque Development Permit By-law 2010-75

The site is designated Residential with a small portion of Environmental Constraints on Schedule A of the Gananoque Development Permit By-law 2010-75. A class III development permit application is proposed to redesignate the site as a special exception Progressive Commercial (PC-XX) designation to permit the proposed commercial sports and recreation establishment and to establish appropriate performance standards for the site.

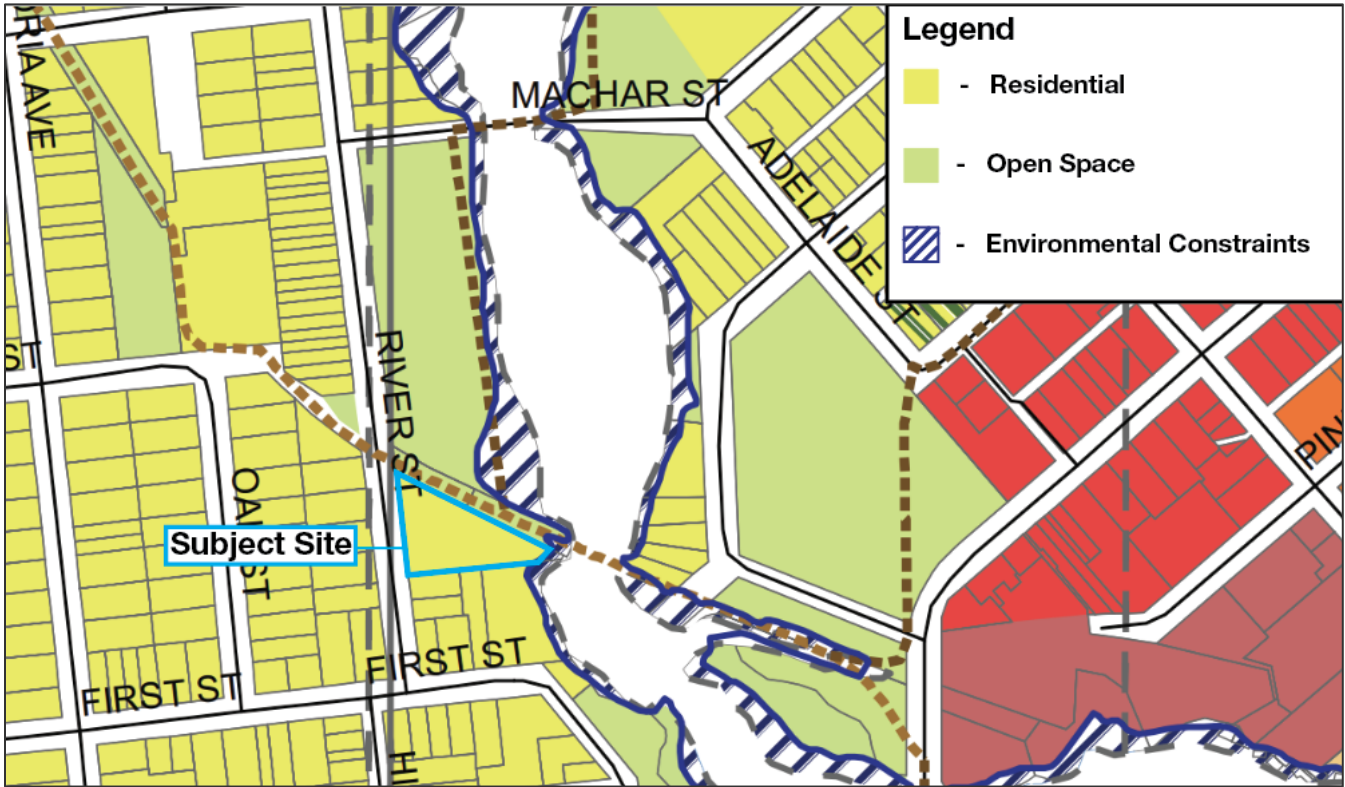


Figure 8: Schedule A, Development Permit By-law 2010-75 (Source: Town of Gananoque annotated by Fotenn)

The following table compares the proposed development against the as-of-right regulations of the Progressive Commercial designation. Where required amendments are identified, a brief rationale is provided following the table below.

Provision	Requirement	Proposed Development	Amendment Required?
Section 7 – Progressive Commercial District			
Permitted Uses	Various commercial uses, including: - Club Commercial - Commercial Sports and Recreation Establishment - Place of Recreation	Commercial Sports and Recreation Establishment	No
Lot Area (min)	464 m ²	2,640 m ²	No
Lot Coverage (max)	60%	24%	No
Lot Frontage (min)	15 m	55.9 m (River Street)	No
Front Yard Setback (min)	7.0 m	0 m (River Street), 50.9 m (Gananoque River)	Yes
Interior Side Yard (min)	1.2 m	0 m (North), 20.1 m (South)	Yes
Building Height (max)	12 m	9.6 m	No
Section 7.5 – Design Criteria, Progressive Commercial Designation			
General Design Criteria	Where a progressive commercial use is located adjacent to a residential use, a 3.0 metre landscaped buffer strip shall be provided	3 metre landscaped buffer provided along south lot line	No
	Where additions or improvements are proposed an effort will be made to improve the streetscape by the addition of landscape materials to a depth of 5.0 metres including street trees a minimum of 50 millimetres caliper, street furniture, lighting and sidewalks	No streetscape improvements proposed	No
	New development should blend in with existing elements of character, scale and design. New work should be complimentary in appearance to the original.	Proposed building additions to be complimentary to the original structure	No
	Garbage receptacles are to be enclosed by wood screen or planted hedge and are only permitted in the rear yard.	No changes to existing waste collection are proposed	No
	Buildings should be orientated towards the street.	Building oriented towards the street	No
	Parking should be provided in the rear or side of building	Parking provided to the rear and side of the building	No
	Buffers shall consist of plant material screens and structural elements that are designed to create a more natural looking landscape.	To comply	No

Provision	Requirement	Proposed Development	Amendment Required?
	50% of the landscaped area shall consist of natural plantings of grass, lawns, trees, shrubs and flowers.	No changes to existing landscaping proposed	No
	Street trees are to be provided wherever possible.	Tree planting proposed along north lot line	No
	All walkways and access pathways shall have regard and provide for accessibility wherever possible.	Complies	No
Section 3 – General Provisions			
Exterior Design (3.15)	Elements of exterior design are subject to the provisions outlined in Sections 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 and 14 of this By-Law.	Design criteria of Section 7 has been considered	No
	All proposals must include elevation drawings.	Elevations drawings provided	
Landscaped Open Space (3.24)	In Commercial designations any portion of any front yard which is not used for any other permitted use shall be exclusively devoted to landscaped open space.	Gravelled area is provided in front yard	Yes
Loading Requirements (3.26)	Lots located in a Commercial Designation which involves the frequent receiving, shipping, loading or unloading of goods, wares, merchandise or raw materials shall provide loading spaces	0 provided- Frequent shipping and receiving not required	No
Parking and Storage of Vehicles (3.32)	Parking to be provided within a garage, carport, driveway, designated parking area or on a street	Parking area provided	No
	Standard Parking Space Dimension (min): 3 m (w) x 6 m (l)	3 m x 6 m	No
	Barrier-free parking space dimension (min): 3 m (w) x 6 m (l)	3 m x 6 m with a 1.5 m access aisle	No
	1.5 metre aisle in between each barrier free space		
	When a building or structure has, at the time of the passing of this By-law, insufficient parking to comply with the requirements herein, this By-law shall not be interpreted to require that the deficiency be made up prior to the construction of any addition, change of use, or replacement in whole or in part, of any such building or structure. However, no addition, change of use or replacement may occur, the effect of which would be an increase in that deficiency.	16 parking spaces to be provided. Proposed development does not increase existing parking deficiency.	No

Provision	Requirement	Proposed Development	Amendment Required?
	Parking area shall be constructed of asphalt paving, concrete, paver stones, or similar materials, and shall incorporate drainage facilities	Gravel parking area provided; drainage facilities proposed	No
	Ingress and egress directly to and from every parking space shall be by means of a driveway, lane or aisle having a width of at least 6.0 m for two-way traffic and 3.5 m for one-way traffic	+/- 11m wide aisle provided	No
	Minimum number of required spaces: 1 space / 30 m ² of gross floor area (= 21 spaces required)	16 spaces provided	No – per compliance with Section 3.32
	Barrier free parking: One barrier free space shall be provided for every 20 standard parking spaces (=1 space required)	1 space provided	No
Setbacks from a Watercourse (3.41)	A setback of 30 metres (98.4 feet) is required from a watercourse for all development	+/- 56m setback provided	No
Site Alteration or vegetation Removal (3.42)	All development proposed on lands with frontage on a watercourse are required to submit a landscape plan that identifies vegetation within 30 metres (98.4 feet) of the watercourse.	Landscaping information provided on site plan	No
	All shorelines are to provide for naturalized environments with the exception of the accessory structures as permitted herein.	No changes proposed to shoreline	No
	The removal of vegetation is limited to 25% of the total waterfrontage to a maximum of 15 metres	No waterfront vegetation to be removed	No
Water and Sewage Disposal Systems (3.49)	Future development shall proceed on the basis of municipal water and sewers and storm drainage except as otherwise indicated herein.	Proposed development to occur on full municipal services	No
Section 13 – Waterfront Overlay			
Design Criteria (13.4)	<p>Significant vegetation shall be preserved and incorporated into the landscaping. For the purposes of this section significant shall mean the following:</p> <p>Trees with minimum 60 millimetre diameter or trees of 3.5 metres or more in height and</p> <p>Groups or stands of ten or more trees with a minimum diameter of 15 centimetres measured 1.4 metres from the base of the tree.</p>	To comply, no vegetation to be removed.	No

Provision	Requirement	Proposed Development	Amendment Required?
	Any development shall be configured to facilitate and or accommodate waterfront uses and to preserve or enhance the natural views from land and from the water.	Complies	No
	Provide for exterior waterside walkway on all new commercial and multi-residential development	None provided— Adjacent to waterfront trail	No

Minimum Front Yard Setback

An amendment is required to permit a 0-metre front yard setback for the existing building. The required front yard setback for the Progressive Commercial Designation is 7.0 metres. The existing front yard setback of the building from River Street is 0-metres. The proposed amendment seeks to recognize the location of the existing building on the site and allow an addition to the front of the building to establish a new entrance. The proposed amendment is technical in nature and will allow the continued location of the building on the site.

Minimum Interior Side Yard Setback

An amendment is required to permit a 0-metre interior side yard setback for the existing building. The required interior side yard setback for the Progressive Commercial designation is 1.2 metres. The existing interior side yard setback of the building from the north lot line is 0-metres. The proposed amendment seeks to recognize the location of the existing building on the site and allow an addition to the rear of the building. The proposed amendment is technical in nature and will allow the continued location of the building on the site.

Landscaped Open Space

An amendment is required to permit a portion of the front yard, not used for a permitted use, to not be devoted to landscape open space. Based on the Development Permit By-Law definition of front lot line, the subject property has two front lot lines, which are River Street and the east lot line along the Gananoque River. Section 3.24 the Development Permit By-law law requires that within commercial designations, any portion of any front yard which is not used for any other permitted use shall be exclusively devoted to landscaped open space. The majority of the property that is not occupied by the existing commercial building is currently gravelled, including the front yard along River Street not occupied by the commercial building and the front yard in proximity to the Gananoque River. An amendment is proposed to allow the portions of the front yard not occupied by the permitted use to be gravelled, rather than be occupied by landscape open space. The proposed amendment seeks only to recognize the existing condition of the site, rather than permit an expansion to any existing gravelled or non-landscaped areas on the site. As no vegetation currently exists in this area, no vegetation is required to be removed. The Stormwater Management Report prepared for the site confirms that through the implementation of recommended stormwater management measures, including the installation of a French drain in the eastern portion of the site, stormwater flows will be maintained to pre-development levels following the proposed redevelopment. The proposed amendment to permit a reduction to landscaped open space in the front yard will recognize the existing gravelled condition on the site, and is not anticipated to pose any adverse effects to stormwater runoff on the site, as confirmed by the Stormwater Management Report. As the front yard extending to the Gananoque River is located to the rear of the existing commercial building, impacts to neighbourhood character are not anticipated. It is also noted that the property line abutting the Gananoque River is located inland and does not extend to the river's shoreline. Additionally, a 3-metre wide landscape strip is proposed to be incorporated along the south lot line, which will result in a net increase of landscape open space on the site.

Conclusion

The applicant is pursuing an amendment to the official plan and a class III development permit application to allow the adaptive reuse of the existing commercial building for a commercial sports and recreation establishment. Additions are proposed to the existing building to support the intended commercial use. An official plan amendment is proposed to redesignate the site from the Residential designation to the General Commercial designation in the Town of Gananoque Official Plan. A class III development permit is proposed to redesignate the site to a special exception Progressive Commercial designation and to recognize existing site conditions including the front yard setback, the interior side yard setback, and limited front yard landscape open space. The proposed development will contribute positively to the overall vitality of the community through the relocation of Gan Fitness, an established local business in the community, in a manner that is compatible with the surrounding neighbourhood.

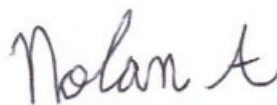
The proposal is consistent with the Provincial Planning Statement, conforms to the Town of Gananoque Official Plan, and maintains the general intent of Development Permit By-law 2010-75. It is our professional opinion that this official plan amendment and Class III Development Permit applications represent good land use planning.

Should you have any questions or comments, please do not hesitate to contact the undersigned at 613.542.5454.

Respectfully submitted,



Kelsey Jones, MCIP RPP
Senior Planner
Fotenn Planning + Design



Nolan Atterbury, BURPI
Planner
Fotenn Planning + Design

APPENDIX A

PROPOSED OFFICIAL PLAN AMENDMENT

22

The proposed Official Plan Amendment to the Town of Gananoque's Official Plan will read:

The Council of the Corporation of the Town of Gananoque in accordance with provisions of the Planning Act (R.S.O. 1990, c.P.13) hereby enacts as follows:

1. Amendment Number X to the Official Plan for the Town of Gananoque consisting of the attached explanatory text and Schedules are hereby adapted.
2. This by-law shall come into force and take effect on the day after the last day for filing a notice of appeal provided no notice of appeal is filed in accordance with the provisions of Sections 17 and 22 of the Planning Act.

Read a first and second time and finally passed this XX day of XX, 2025

John Beddows, Mayor

Penny Kelly, Clerk

APPENDIX A

PROPOSED OFFICIAL PLAN AMENDMENT

23

1. TITLE

The following constitutes Amendment Number xx to the Official Plan of the Town of Gananoque.

2. PURPOSE OF THE AMENDMENT

The purpose of this amendment is to redesignate the subject lands to the General Commercial designation in order to permit a commercial sports and recreation establishment on the subject property.

3. LOCATION OF THE LANDS AFFECTED

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

4. BASIS OF THE AMENDMENT

An Official Plan Amendment application (XXXX) was received from Bethanie Matthews for the redesignation of the subject lands, to the General Commercial designation to establish a commercial sports and recreation establishment. The amendment will permit the adaptive reuse of the existing commercial building on the subject lands and will contribute positively to the overall vitality of the community through the relocation of Gan Fitness, an established local fitness club.

5. DETAILS OF THE AMENDMENT

The Official Plan to the Town of Gananoque is hereby modified as follows:

- i) **THAT** Schedule 'A' to the Official Plan for the Town of Gananoque is hereby amended by redesignating the lands identified on Schedule A from Residential to General Commercial attached hereto and forming part of this Amendment.

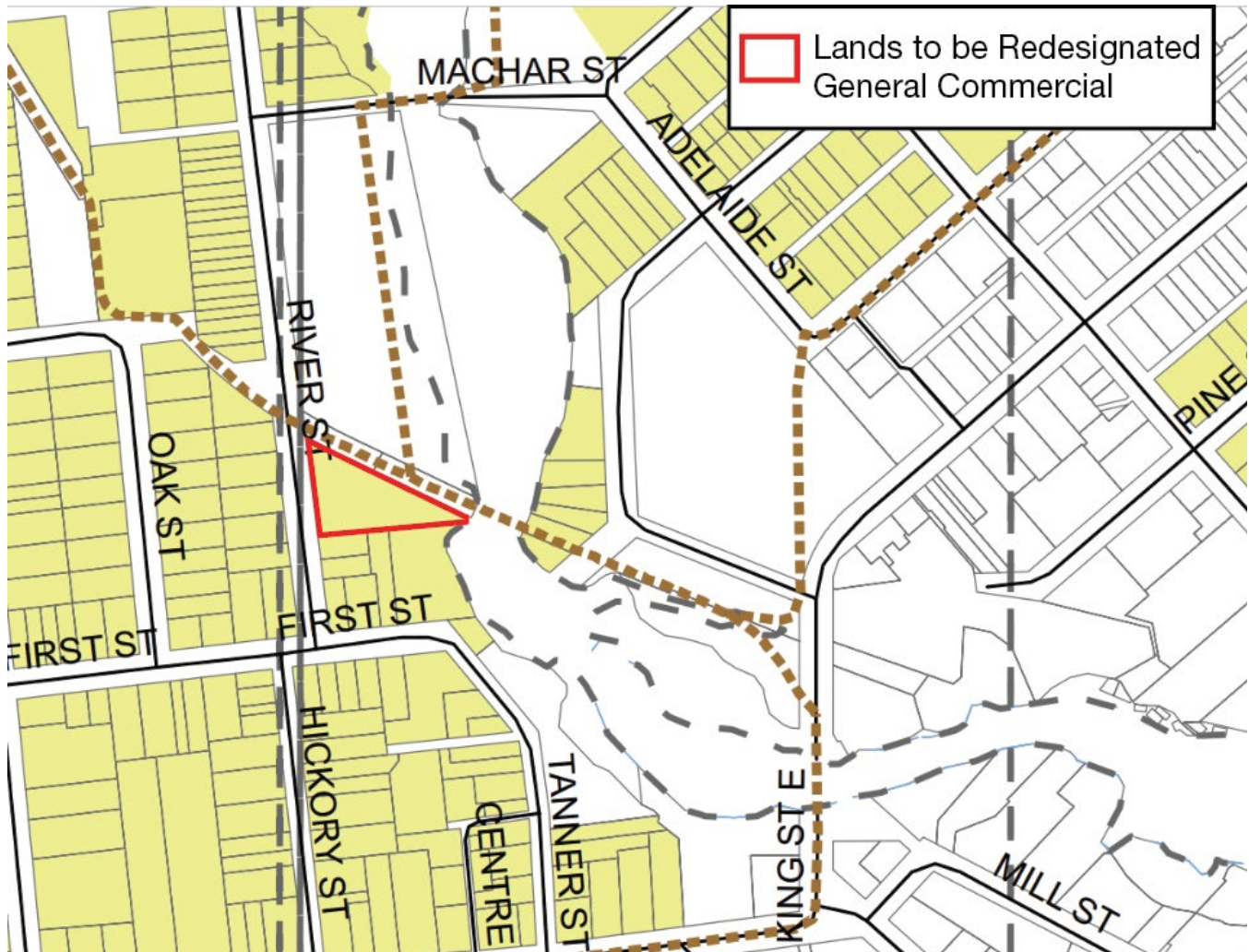
6. IMPLEMENTATION AND INTERPRETATION

The changes to the Official Plan described in this Amendment shall be implemented and interpreted in accordance with the implementation policies of the Official Plan described in Chapter 6 thereof.

APPENDIX A PROPOSED OFFICIAL PLAN AMENDMENT

24

Schedule A



PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

THE CORPORATION OF THE TOWN OF GANANOQUE EXPLANATORY NOTE TO BY-LAW NUMBER XXX-XXXX

BY-LAW NO. XXX-XXXX

BEING A DEVELOPMENT PERMIT BY-LAW AMENDMENT

TO BY-LAW NO. 2010-75

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

**THE CORPORATION OF THE TOWN OF GANANOQUE
EXPLANATORY NOTE
TO BY-LAW NUMBER XXX-XXXX**

PURPOSE OF THE DEVELOPMENT PERMIT BY-LAW AMENDMENT

The purpose of the amendment is to establish a site-specific Progressive Commercial (PC-XX) designation for the site, to permit site-specific performance standards within the site-specific Progressive Commercial designation.

The subject lands are currently designated Residential in the Town of Gananoque Official Plan. An application to amend the Official Plan was received concurrently which seeks to amend the Official Plan to redesignate the site to the General Commercial Designation to permit the proposed commercial uses.

EFFECT OF THE BY-LAW REQUEST

The amendment will permit the adaptive reuse and expansion of the existing commercial building on the site and the establishment of a commercial sports and recreation establishment within the commercial building. The amendment will have the effect of permitting a reduced front yard setback, a reduced interior side yard setback, and reducing required front yard landscape open space. The proposed development will support the health and well-being of local residents and visitors by providing commercial grade fitness equipment and a variety of recreational opportunities, including group fitness classes and personal programming, an indoor recreational area for various sports uses, and e-bike and kayak rentals.

LOCATION OF THE PROPERTY

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

APPENDIX B

PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

26

THE CORORATION OF THE TOWN OF GANANOQUE BY-LAW NUMBER #####

BEING A BY-LAW TO AMEND DEVELOPMENT PERMIT BY-LAW 2010-75

WHEREAS the Council of the Corporation of the Town of Gananoque received a request to amend Development Permit By-law 2010-75 to permit the development commercial development approved to date;

AND WHEREAS the proposed change in zoning conforms to the Official Plan designation, as revised by Official Plan Amendment No. XX considered in conjunction with this by-law;

NOW THEREFORE the Council of the Corporation of the Town of Gananoque enacts as follows:

1. **THAT**, Schedule 'C' of Development Permit By-law 2010-75 is hereby amended by adding a Progressive Commercial Exception (PC-XX) designation for the lands identified on Schedule A attached hereto and forming part of this By-law.
2. **THAT**, Section 7.6 Special Exceptions is hereby amended by the addition of the following new subsection following PC-XX.

Progressive Commercial Exception XXXX (PC – XX)

(Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville)

Notwithstanding any provisions of this By-law to the contrary for the lands designated PC-XX on Schedule C, following shall apply:

- (a) Front Yard (minimum) 0 m
 - (b) Interior Side Yard (minimum) 0 m
 - (c) Any portion of the front yard not occupied by a permitted use is not required to be devoted to landscaped open space.
3. **THIS** By-law shall come into force and take effect on the day of its passing, subject to:
 - The provisions of subsections 34(30) and (31) of the Planning Act, R.S.O. 1990, C.P.13., as amended, in the event a notice of appeal of this by-law is filed in accordance with subsection 34(19) of the Act; and
 - Not until Official Plan Amendment No. X of the Town of Gananoque Official Plan has come into effect.

Read a first and second time and finally passed this XX day of XXX, 2025

John Beddows, Mayor

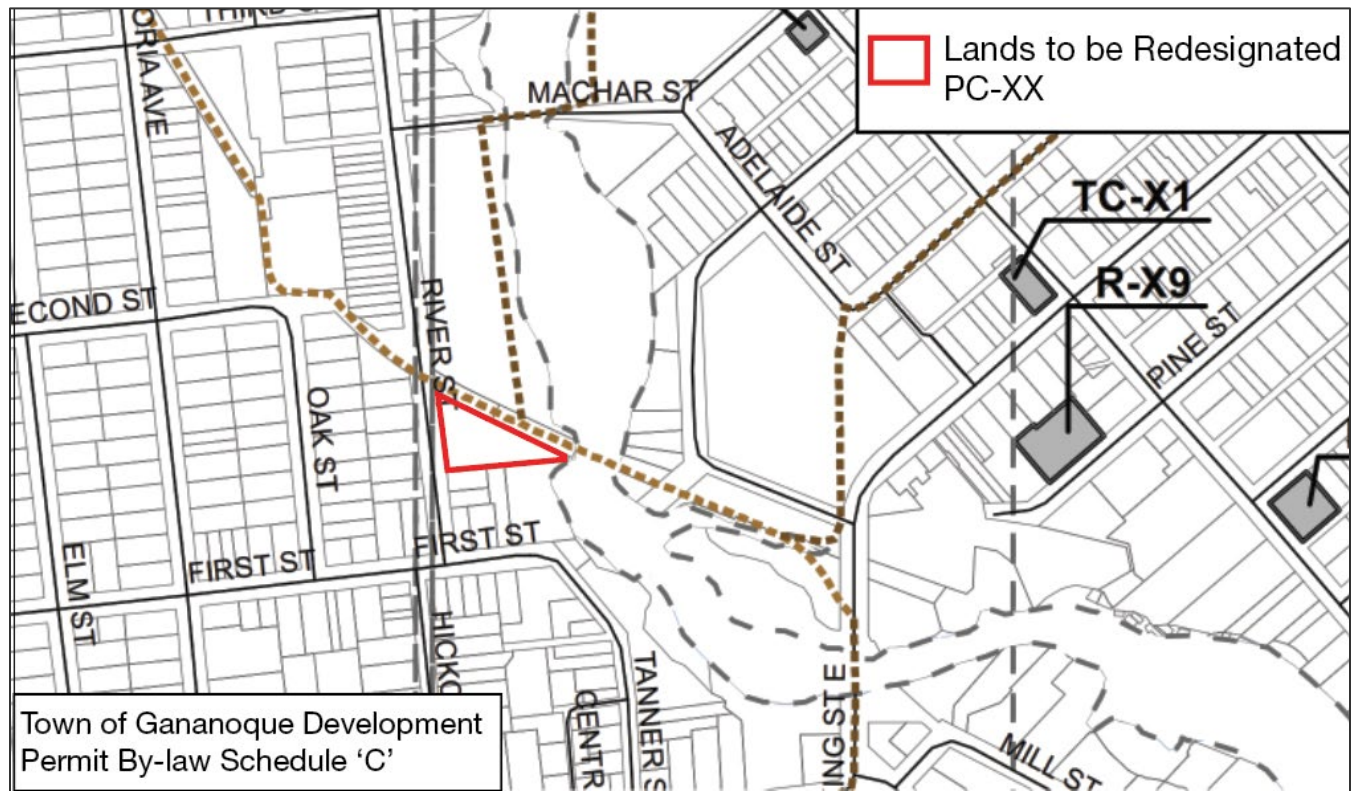
Penny Kelly, Clerk

APPENDIX B

PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

27

Schedule A



PLANNING ADDENDUM MEMO

145 RIVER STREET, GANANOQUE

1

July 11, 2025

Brenda Guy

Manager of Planning and Development
Town of Gananoque

**RE: 145 River Street, Gananoque
Planning Addendum Memo
Official Plan Amendment and Class III Development Permit**

Fotenn Planning + Design is pleased to submit this addendum letter and supporting documentation on behalf of the applicant, Bethanie Matthews, to supplement the Planning Justification Letter prepared by Fotenn Planning + Design, dated May 29, 2025. This addendum letter provides additional detail and information in response to comments and requests made by Ms. Guy, and summarizes updates made to the concept plan in response to these comments.

Overview of Business and Proposed Location

Gan Fitness is an established local business, operating as the sole locally owned gym in Gananoque. Gan Fitness has supported the mental and physical health of community members for the past 12 years and seeks to continue doing so at the proposed location at 145 River Street. Gan Fitness is seeking to relocate their business to 145 River Street to expand their services in a more central location. The site is optimally located to promote walkability and accessibility for a wider range of users, which will ultimately help keep membership fees low for the community. Beyond the proposed fitness facility and exercise classes offered by Gan Fitness, the proposed commercial sports and recreation establishment will also support a range of new recreational services not currently present in the community, including e-bike, kayak, and stand-up paddleboard (SUP) rentals, and various sports including basketball, volleyball, and pickleball, among other uses in the proposed gymnasium addition. Gan Fitness operates between the hours of 5 am - 9:30 pm daily, with typically no more than 15 users in the gym at once, and typically no more than 100 users in a single day. The central location will promote more users to walk, rather than drive, to the new facility. As an established commercial site, the proposed location at 145 River Street is well suited to support the relocation of Gan Fitness.

Site Plan Changes

In response to the comments received, the following changes have been made to the concept plan:

- / The number of on-site parking spaces has been increased from 16 to 21, including two barrier free parking spaces which will be located east of the proposed building addition.
- / Additional landscaping has been proposed along the River Street frontage of the property and along the north property line adjacent to the Waterfront Trail to ensure an attractive streetscape for the surrounding neighbourhood.
- / On-site tree planting is proposed along the River Street frontage as well as adjacent to the Waterfront Trail. Six 50 mm caliper maple trees are proposed, including two along the River Street frontage and four along the north property line in proximity to the Waterfront Trail.
- / A concrete pedestrian walkway is proposed along the south side of the building providing a separated path of travel from the accessible parking spaces and rear of the building to the main entrance for site users.

Proposed Applications

The following provides additional detail related to the proposed Official Plan Amendment and Class III Development Permit applications. Update official plan and development permit by-law text is provided in Appendices A and B to this memorandum.

Official Plan Amendment

Based on the comments received, the official plan amendment proposed has been revised to redesignate the site from Residential to General Commercial and establish a special policy area to limit the use of the site to a commercial sports and recreation establishment only. As revised, the proposed special policy area would require any future change in use to be subject to subsequent *Planning Act* applications.

The current Residential designation provides a limited list of supported non-residential uses, and it is our opinion the proposed commercial sports and recreation establishment does not fall into the list of local commercial uses supported in the Residential designation. As a result, it was determined that redesignating the site to the General Commercial designation was appropriate to ensure aspects such as site layout, parking, streetscape design, pedestrian movement, pedestrian friendly environments, building design and gateway features were considered through the proposed development.

Section 3.3.1 of the Official Plan (OP) states that the goal of Commercial designations is to provide a supportive land use policy framework which reduces constraints for commercial development while ensuring that commercial uses will contribute to Gananoque's small town character. Commercial policies in the OP are intended to support a diverse range of commercial uses to meet the needs of the community and reduce the need for residents to travel elsewhere. Commercial policies are also intended to accommodate a variety of commercial formats, ranging from pedestrian oriented stores to highway commercial uses. As well, the OP policies encourage the maintenance and improvement of existing commercial buildings within the Town. As outlined in Section 3.3.2.1.1 of the OP, the General Commercial Policy Area specifically permits retail and service commercial development intended to serve the needs of local residents and visitors and includes a wide range of small scale uses including personal service establishments. Section 3.3.2.1.2 provides policies to guide new general commercial development, including direction for adequate off-street parking, access to parking, pedestrian access and movement, and locating parking to foster pedestrian friendly environments.

The proposed development is well suited to the General Commercial designation as it will support the relocation of Gan Fitness, an established locally-owned and operated business, to a central location which promotes the health and well being of users and reduces the need for residents to travel out of town to meet their recreational needs. The proposed development will support the maintenance and improvement of an existing underutilized, pedestrian oriented commercial building on the site by permitting a new commercial use. The proposed commercial sports and recreation establishment represents a small-scale use that is sensitive to the surrounding residential neighbourhood which will provide personal services including fitness facilities, exercise classes, a sports gymnasium, and a range of complimentary recreational uses. The site is located in proximity to the Town's core, and is oriented towards River Street, which will promote a pedestrian friendly environment for local users in line with the requirements for General Commercial development. The site will meet the functional and accessibility needs of users by providing off-street parking spaces, including two barrier free parking spaces to the rear and side of the building. The proposed commercial use is suitable in scale for the area and meets the intent of the General Commercial designation. The proposed official plan amendment will ensure that the proposed commercial sports and recreation establishment is permitted in an appropriate designation and restricts the permitted use to only a commercial sports and recreation establishment. Additionally, the proposed official plan amendment will ensure the subject site is located in an appropriate land use designation which aligns with the proposed Development Permit By-law designation.

Class III Development Permit

It is proposed to redesignate the site from Residential to a Special Exception Progressive Commercial (PC-XX) designation to permit a commercial sports and recreation establishment. As a result of the comments provided, the proposed special exception seeks to permit the proposed commercial sports and recreation establishment while prohibiting all other uses permitted by the Progressive Commercial designation on the site. The proposed special exception will ensure that any future change in use will require subsequent *Planning Act* applications.

The Progressive Commercial designation is generally intended for commercial uses that link the Traditional Commercial Core with the Gateway Commercial designation, supporting both traditional and modern built forms that integrate landscaping and local character. The intent of the Progressive Commercial designation is to permit a wide range of commercial uses that do not comprise the historical built form of the commercial core, nor represent development which requires larger lot areas designed to serve the traveling public. The proposed development meets the intent and purpose of the Progressive Commercial designation, as it supports the establishment of a commercial sports and recreation establishment through adaptive reuse within an existing commercial building, while enhancing on-site landscaping and the streetscape to align with the established neighbourhood character.

The proposed commercial sports and recreation establishment will be appropriately regulated by the Progressive Commercial designation as the designation provides detailed design criteria specific to commercial development that considers streetscape improvements, landscaping requirements, and compatibility for commercial uses adjacent to residential uses. The proposed commercial development complies with the Progressive Commercial design criteria by providing enhanced buffers and landscaping along River Street and the north property line adjacent to the Waterfront Trail, incorporating new street and on-site tree plantings, incorporating a pedestrian walkway along the south side of the building to connect the main entrance to the accessible parking spaces and rear of the building, and establishing a landscaped strip along the south property line abutting the residential unit to ensure appropriate buffering and separation are provided from on-site parking to adjacent residences. The proposed development appropriately incorporates design criteria as required by the Progressive Commercial designation. The proposed Class III Development Permit By-law amendment will ensure the development is regulated by appropriate design criteria, the use of the site is limited to the commercial sports and recreation establishment as proposed, and that any future change in use will require subsequent *Planning Act* applications.

As a result of the applications for Official Plan Amendment and Class III Development Permit, the proposed commercial sports and recreation facility will be designated and regulated appropriately to facilitate the relocation of an established local business in a manner compatible with the surrounding residential neighbourhood.

We trust that this addresses the comments provided. Please contact 613.542.5454 x 326 if you have any further questions or comments.

Respectfully,



Kelsey Jones, MCIP RPP
Senior Planner
Fotenn Planning + Design



Nolan Atterbury, BURPI
Planner
Fotenn Planning + Design

APPENDIX A

PROPOSED OFFICIAL PLAN AMENDMENT

4

The proposed Official Plan Amendment to the Town of Gananoque's Official Plan will read:

The Council of the Corporation of the Town of Gananoque in accordance with provisions of the Planning Act (R.S.O. 1990, c.P.13) hereby enacts as follows:

1. Amendment Number X to the Official Plan for the Town of Gananoque consisting of the attached explanatory text and Schedules are hereby adapted.
2. This by-law shall come into force and take effect on the day after the last day for filing a notice of appeal provided no notice of appeal is filed in accordance with the provisions of Sections 17 and 22 of the Planning Act.

Read a first and second time and finally passed this XX day of XX, 2025

John Beddows, Mayor

Penny Kelly, Clerk

APPENDIX A

PROPOSED OFFICIAL PLAN AMENDMENT

5

1. TITLE

The following constitutes Amendment Number XX to the Official Plan of the Town of Gananoque.

2. PURPOSE OF THE AMENDMENT

The purpose of this amendment is to redesignate the subject lands to the General Commercial designation and establish Special Policy Area X to permit a commercial sports and recreation establishment on the subject property and prohibit all other uses permitted in the General Commercial designation.

3. LOCATION OF THE LANDS AFFECTED

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

4. BASIS OF THE AMENDMENT

An Official Plan Amendment application (XXXX) was received from Bethanie Matthews to redesignate the subject lands to the General Commercial designation and establish a Special Policy Area X to permit a commercial sports and recreation establishment and prohibit all other uses of the General Commercial designation on the subject lands. The amendment will permit the adaptive reuse of the existing commercial building on the subject lands and will contribute positively to the overall vitality of the community through the relocation of Gan Fitness, an established local fitness club. The amendment will also prohibit all other uses on the subject lands to ensure that any future change in use will require subsequent Planning Act applications.

5. DETAILS OF THE AMENDMENT

The Official Plan to the Town of Gananoque is hereby modified as follows:

- i) **THAT** Schedule 'A' to the Official Plan for the Town of Gananoque is hereby amended by redesignating the lands identified on Schedule A, attached hereto and forming part of this Amendment, from Residential to General Commercial.
- ii) **THAT** Section 3.3.2.1.X of the Official Plan is amended to add the following section:

"3.3.2.1.X General Commercial Special Policy Area X – 145 River Street

On the lands designated 'General Commercial – Special Policy Area X', the only permitted use shall be a commercial sports and recreation facility, which is defined as an athletic, recreational, or social club operated for gain or profit or for the private use of members."

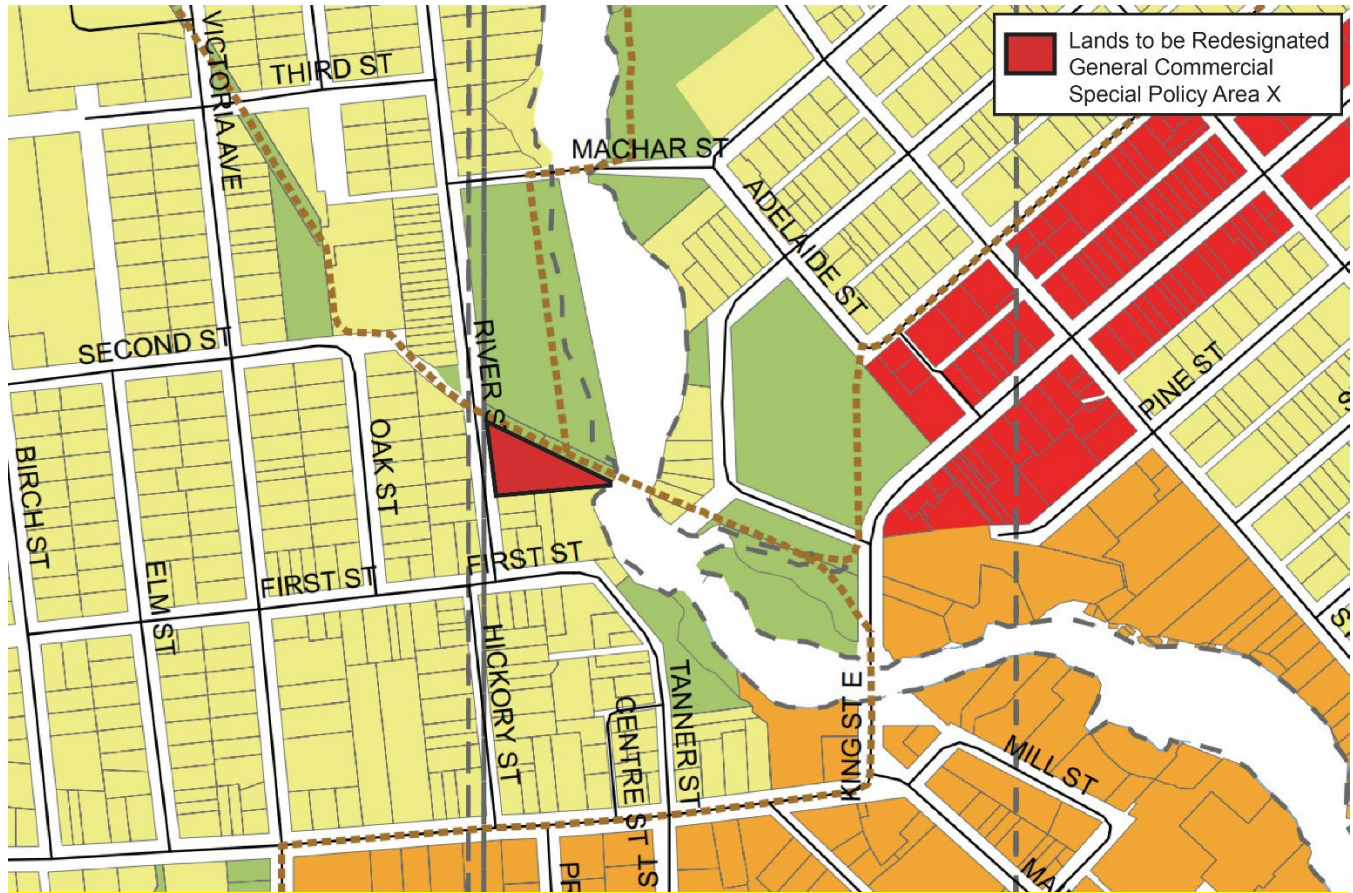
6. IMPLEMENTATION AND INTERPRETATION

The changes to the Official Plan described in this Amendment shall be implemented and interpreted in accordance with the implementation policies of the Official Plan described in Chapter 6 thereof.

APPENDIX A PROPOSED OFFICIAL PLAN AMENDMENT

6

Schedule A



APPENDIX B

PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

7

THE CORPORATION OF THE TOWN OF GANANOQUE EXPLANATORY NOTE TO BY-LAW NUMBER XXX-XXXX

BY-LAW NO. XXX-XXXX

BEING A DEVELOPMENT PERMIT BY-LAW AMENDMENT

TO BY-LAW NO. 2010-75

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

THE CORPORATION OF THE TOWN OF GANANOQUE
EXPLANATORY NOTE
TO BY-LAW NUMBER XXX-XXXX

PURPOSE OF THE DEVELOPMENT PERMIT BY-LAW AMENDMENT

The purpose of the amendment is to establish a site-specific Progressive Commercial (PC-XX) designation for the site, to permit site-specific performance standards within the site-specific Progressive Commercial designation.

The subject lands are currently designated Residential in the Town of Gananoque Official Plan. An application to amend the Official Plan was received concurrently which seeks to amend the Official Plan to redesignate the site to General Commercial Special Policy Area designation to permit the proposed commercial uses, and prohibit all other uses otherwise permitted in the General Commercial designation.

EFFECT OF THE BY-LAW REQUEST

The amendment will permit the adaptive reuse and expansion of the existing commercial building on the site and the establishment of a commercial sports and recreation establishment within the commercial building. The amendment will have the effect of permitting a reduced front yard setback, a reduced interior side yard setback, a reduced front yard landscape open space requirement, and prohibiting all other uses permitted in the Progressive Commercial designation. The proposed development will support the health and well-being of local residents and visitors by providing commercial grade fitness equipment and a variety of recreational opportunities, including group fitness classes and personal programming, an indoor recreational area for various sports uses, and e-bike and kayak rentals.

LOCATION OF THE PROPERTY

The property is municipally known as 145 River Street, and is described as Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville.

APPENDIX B PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

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THE CORORATION OF THE TOWN OF GANANOQUE BY-LAW NUMBER #####

BEING A BY-LAW TO AMEND DEVELOPMENT PERMIT BY-LAW 2010-75

WHEREAS the Council of the Corporation of the Town of Gananoque received a request to amend Development Permit By-law 2010-75 to permit the commercial development approved to date;

AND WHEREAS the proposed change in zoning conforms to the Official Plan designation, as revised by Official Plan Amendment No. XX considered in conjunction with this by-law;

NOW THEREFORE the Council of the Corporation of the Town of Gananoque enacts as follows:

1. **THAT**, Schedule 'A' of the Development Permit By-law 2021-75 is hereby amended by changing the designation of the lands identified on Schedule A attached hereto and forming part of this By-law from Residential to Progressive Commercial
2. **THAT**, Schedule 'C' of Development Permit By-law 2010-75 is hereby amended by adding a Progressive Commercial Exception (PC-XX) designation for the lands identified on Schedule B attached hereto and forming part of this By-law.
3. **THAT**, Section 7.6 Special Exceptions is hereby amended by adding the following new subsection PC-XX:

Progressive Commercial Exception XXXX (PC – XX)

(Part of Lot 13, Concession 1, Town of Gananoque, in the United Counties of Leeds and Grenville)

Notwithstanding any provisions of this By-law to the contrary for the lands designated PC-XX on Schedule C, the following shall apply:

- (a) The only permitted use shall be a commercial sports and recreation establishment.
 - (b) Front Yard (minimum) 0 m
 - (c) Interior Side Yard (minimum) 0 m
 - (d) Any portion of the front yard not occupied by a permitted use is not required to be devoted to landscaped open space.
4. **THIS** By-law shall come into force and take effect on the day of its passing, subject to:
 - The provisions of subsections 34(30) and (31) of the Planning Act, R.S.O. 1990, C.P.13., as amended, in the event a notice of appeal of this by-law is filed in accordance with subsection 34(19) of the Act; and
 - Not until Official Plan Amendment No. X of the Town of Gananoque Official Plan has come into effect.

Read a first and second time and finally passed this XX day of XXX, 2025

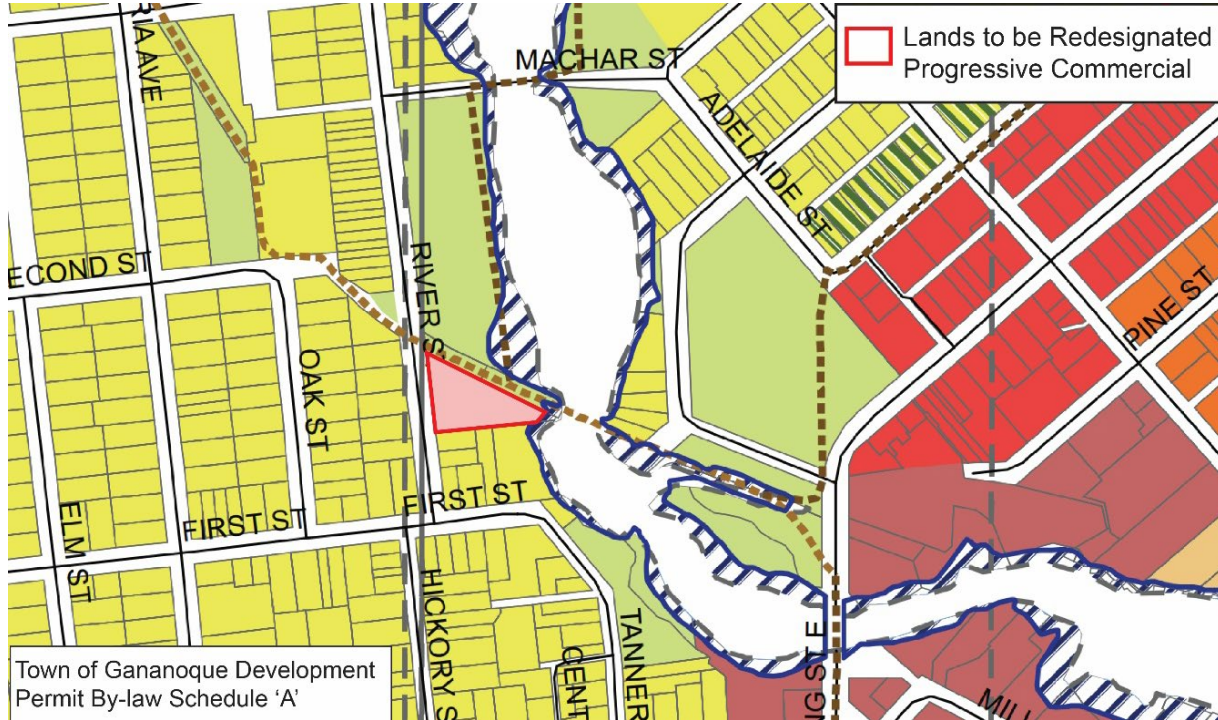
John Beddows, Mayor

Penny Kelly, Clerk

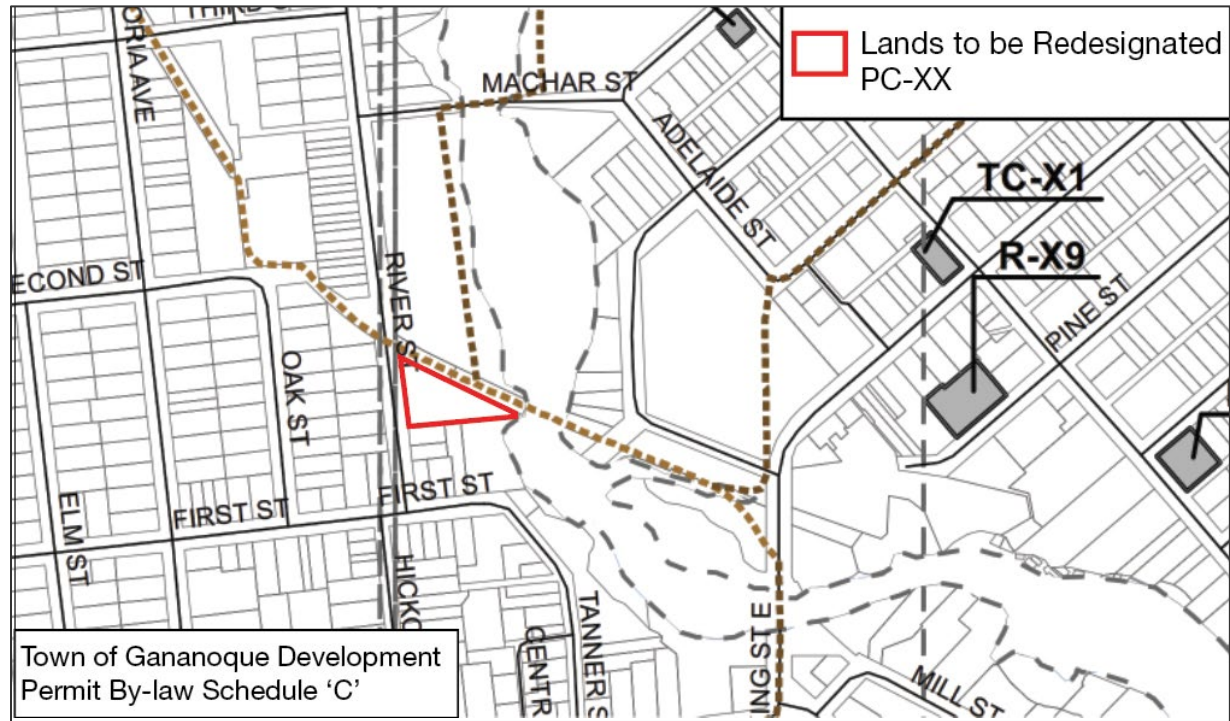
APPENDIX B PROPOSED DEVELOPMENT PERMIT BY-LAW AMENDMENT

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Schedule A



Schedule B



**GAN FITNESS
145 RIVER STREET
GANANOQUE, ON**

STORMWATER MANAGEMENT REPORT



**EASTERN ENGINEERING GROUP INC.
APEX BUILDING
100 STROWGER BLVD, SUITE 207
BROCKVILLE, ON
K6V 5J9**

MARCH 2025

REVISION RECORD					
REV	DESCRIPTION	PREPARED BY			
0					
1					
2					
3					

1.0 PROJECT BACKGROUND

The project involves a new addition to the existing building at 145 River Street and revision to the site with additional gravel parking area. The building expansion is 210 m² at the rear of the building and a new entry addition of 31 m². The gravel parking area increased is 1278 m².

The report is a summary of data, calculations, design and support documentation required for the stormwater management of the site.

2.0 LOCATION

The property is located at current 145 River Street, Gananoque.

3.0 SERVICING

The existing building is serviced via municipal sanitary and water from the adjacent streets. There will be no increase or change in servicing for the building. The existing water is a 150mm dia service to the property for fire protection.

The existing sanitary location could not be confirmed but there is an existing service to the building draining by gravity to the Town infrastructure.

4.0 DRINKING WATER SOURCE PROTECTION

As per Cataraqui Region Conservation Authority, portions of the site are in an area identified as a significant groundwater recharge area (SGRA) and Highly Vulnerable Aquifer (HVA). As mandated by the Clean Water Act (2006), the Source Protection Plan identifies significant activities that are considered to be drinking water threats.

A review of the proposed use of the site confirms that the activities planned on the site will not be a threat or risk to the groundwater. There will be no chemical handling or storage of any

items listed in the Cataraqui Source Protection Plan. The proposed use of the site is a fitness centre.

5.0 EXISTING CONDITIONS

The area being redeveloped currently does not have any stormwater management facilities in place. The existing parking lot drains easterly towards the Gananoque River on the site. There is no controlled outlet currently.

The intent of the stormwater management plan presented herein is to mitigate any negative impact that the proposed development will have on the Town sewer system and neighbouring properties.

6.0 SEDIMENT AND EROSION CONTROL PLAN

To control sediment and erosion during construction the following shall be adhered to:

1. Before proceeding with any area grading the silt fence must be constructed where indicated.
2. Silt control fence shall be installed where shown and maintained until the completion of the landscaping.
3. Catchbasin silt traps are to be installed at all catchbasins off site where runoff can drain.
4. Accumulated silt to be removed off site prior to removal of the silt control fence.
5. Contractor to clean adjacent roads on a regular basis to the satisfaction of the Town.
6. The silt fence must be inspected weekly and immediately after rainfall events for rips or tears, broken stakes, blow outs (structural failure) and accumulation of sediment. The silt fence must be fixed and/or replaced immediately when damaged. Sediment must be removed from silt fence when accumulation reaches 50% of the height of the fence.
7. Upon completion of landscaping all sediment and erosion control measures shall be removed.
8. No construction activity or machinery shall be beyond the silt fence.
9. All earth or topsoil stockpiles shall be surrounded with a sediment control fence.

The Contractor shall be responsible for monitoring and maintaining the sediment and erosion control facilities until re-vegetation is complete.

The Sediment and Erosion Control Plan shall be considered a 'living document' that may need to be changed or adjusted during the life of the project to be effective.

7.0 PROPOSED STORMWATER MANAGEMENT DESIGN

The stormwater management for the new commercial development and parking area will be done via grading and use of low impact development to contain and treat stormwater runoff before leaving the site.

The intent of stormwater management is to limit the Post-development drainage runoff to the 5 year Pre-development conditions. The existing site has no stormwater management in place with no storm sewers. The proposed works will contain all runoff on the parking area.

The proposed SWM facilities are shown on the C1. Storage will be provided on site for the 2 through 5 year events, using infiltration trench and surface.

8.0 QUALITY- BEST MANAGEMENT PRACTICES

The site is less than 2 ha, using the Stormwater design manual, Section 4.1.1, and will be treated as a smaller developed area and recommend Lot Level and Conveyance Controls should be allowed for the site.

The flow from the site will follow natural drainage paths towards the east and Gananoque River. To help with water quality, Best Management Practices and Low Impact Development strategies are addressed by the rural nature of the development which includes the following factors:

Infiltration

Designing water flow paths in a longer shape will help with the removal of sediment and keeping temperature of the water lower. The flow path from the parking area to the infiltration trench is a low sloped gravel area. The gravel will allow for infiltration.

Preserve areas of undisturbed soil and vegetation

Areas that can retain their natural soils and current conditions should be included in the planning. The area of undeveloped grass land will be preserved to accommodate all runoff from the site.

Lot level Controls

At the lot level, the effects of runoff reduction measures are enhanced by minimizing lot grades to promote natural infiltration. Due to the natural topography or relief of the site, the existing grading of the entire site will be maintained and thus allowing natural filtration and absorption to continue while maintaining base flows and reducing TSS levels.

Conveyance Control

The use of low gradient grassed areas where possible is one of the best conveyance controls available. The flat grades help to reduce flow velocities, reducing erosion potential. The grassed bottoms and side slopes act as a filter for any suspended particulate matter as well as promoting infiltration.

Treatment Method

The treatment method will be best management practices included a grassed flow area. This also acts as a large buffer strip between the developed land and all neighbouring properties.

Treatment Area

This area has been designed and grades so all new surfaces drain to the grass areas around the development. The parking area is graded to flow to the grass swales and infiltration areas. The intent of the design is to provide a normal level of protection as defined by the MOE Stormwater Management Planning and Design Manual, March 2003 for the area being developed into a storage area.

9.0 QUANTITY – PRE-DEVELOPMENT

The site will be considered a treed area prior to the parking lot expansion. The runoff coefficient for the existing areas are calculated using the areas and assumed C for the lands.

The C_{avg} for the 5 year Pre- are calculated as follows:

Runoff Coefficient Calculation:			
PRE DEVELOPMENT			
Surface	C	Area (m2)	Area (ha)
Gravel	0.60	383.000	0.04
Grass	0.35	1863.100	0.19
Asphalt/Concrete	0.90	0.00	0.00
Building	0.90	393.61	0.04
Pasture Lands	0.28	0.00	0.00
Average C = 0.468284016		SUM:	0.26
POST DEVELOPMENT			
Surface	C	Area (m2)	Area (ha)
Gravel	0.60	1838.62	0.18
Grass	0.35	168.29	0.02
Asphalt/Concrete	0.90	0.00	0.00
Building	0.90	632.82	0.06
Pasture Lands	0.28	0.00	0.00
Average C = 0.66		SUM:	0.26

C_{pre} was calculated to be 0.47. C_{post} is 0.66

Drainage Area for Qpre					
Pre Runoff C =	0.468284016				
Area =	0.264	ha			
5 YEAR					
Time (min)	mm*ha/hr to L/s	C	I (mm/hr)	A (ha)	Q (L/s)
5	2.78	0.47	155.10	0.264	53.299
10	2.78	0.47	95.50	0.264	32.818
15	2.78	0.47	71.90	0.264	24.708
20	2.78	0.47	58.63	0.264	20.147
25	2.78	0.47	50.16	0.264	17.238

The allowable flow from the full site based on the pre-development 5 year storm event is **24.708 L/s**.

The water quantity objective for the storage area is to not exceed the existing stormwater flows from this area. The flow is limited to the pre-development runoff rates. Please note that it is

widely recognized that the rationale method typically overestimates peak runoff flows and as a result is an extremely conservative prediction method. Any facilities that are sized using results from the rationale method are expected to function in “real world” conditions.

10.0 QUANTITY - POST DEVELOPMENT

The post development flows are calculated using Modified Rationale method for various times and rainfall intensities, to determine the stormwater storage requirements for each area.

10.1 Drainage Area 1

The post development runoff coefficient is 0.80 for 5 year event. The rainfall intensity is taken using tables from Town of Brockville site plan design manual.

POST DEVELOPMENT			
Surface	C	Area (m2)	Area (ha)
Gravel	0.60	1838.62	0.18
Grass	0.35	168.29	0.02
Asphalt	0.90	0.00	0.00
Building	0.90	632.82	0.06
Pasture Lands	0.28	0.00	0.00
Average C =	0.66	SUM:	0.26

The allowable release rate from Drainage Area 1 is 24.708 L/s (5 year).

Drainage Area for Qpost								
Post Runoff								
C =		0.66						
Area =		0.26		ha				
5 YEAR						Allowable Release		
	mm*ha/hr		I			Allowed	Net	Storage
Time (min)	to L/s	C	(mm/hr)	A (ha)	Q (L/s)	Discharge	Runoff	Reqd (m3)
5	2.78	0.656	155.10	0.264	74.663	24.708	49.955	14.986
10	2.78	0.656	95.50	0.264	45.972	24.708	21.264	12.759
15	2.78	0.656	71.90	0.264	34.612	24.708	9.904	8.913
20	2.78	0.656	58.63	0.264	28.223	24.708	3.515	4.218
25	2.78	0.656	50.16	0.264	24.147	24.708	-0.561	-0.842
100 YEAR						Allowable Release		
	mm*ha/hr		I			Allowed	Net	Storage
Time (min)	to L/s	C	(mm/hr)	A (ha)	Q (L/s)	Discharge	Runoff	Reqd (m3)
5	2.78	0.656	259.00	0.264	124.679	24.708	99.971	29.991
10	2.78	0.656	159.50	0.264	76.781	24.708	52.073	31.244
15	2.78	0.656	120.20	0.264	57.862	24.708	33.154	29.839
20	2.78	0.656	97.65	0.264	47.008	24.708	22.300	26.760
25	2.78	0.656	83.55	0.264	40.219	24.708	15.511	23.266
30	2.78	0.656	74.00	0.264	35.622	24.708	10.914	19.646

Therefore, based on Modified Rationale Method, the storage requirement for Drainage Area 1 for 5 year storm event is 14.99 m³ and for the 100 year storm is 31.24 m³. The storage will be underground infiltration trench and on surface.

11.0 STORAGE PROVIDED

The stormwater storage requirements for the new development for the commercial building is 33 m³.

The site storage requirements are achieved with the use of an infiltration trench at the east end of the gravel areas.

12.0 WINTER OPERATION

During the winter months, snow will be stored in areas designated as snow storage area. If accumulation is above normal, snow will be removed from the site and parking lot. All catch basins and manholes will be monitored and kept free of snow and ice buildup to avoid any localized flooding on the site. The insulation effect of the snow will limit the depth of frost penetration such that when temperatures rise, moderate flow will occur in the bottom of the ditches and swales. Regular maintenance of the parking lot in spring to remove accumulated sand will be required.

16.0 MAINTENANCE

The owner will have maintenance staff review the site periodically during routine maintenance. The maintenance plans and forms must address the following:

- Inspection frequency
- Maintenance frequency
- Data collection/ storage requirements (i.e. during inspections)
- Detailed cleanout procedures (main element of the plans) including:
 - Equipment needs
 - Maintenance techniques
 - Occupational health and safety
 - Public safety
 - Environmental management considerations
 - Disposal requirements (of material removed)
 - Access issues

Prepared by:

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March 19, 2025

